

HOT YOGA STUDIO-RENOVATION

ARCHITECT SEAL:

PROJECT SUMMARY

SCALE @ 24" X 36"

DATE: 10-16-2024

DRAWN BY: AK

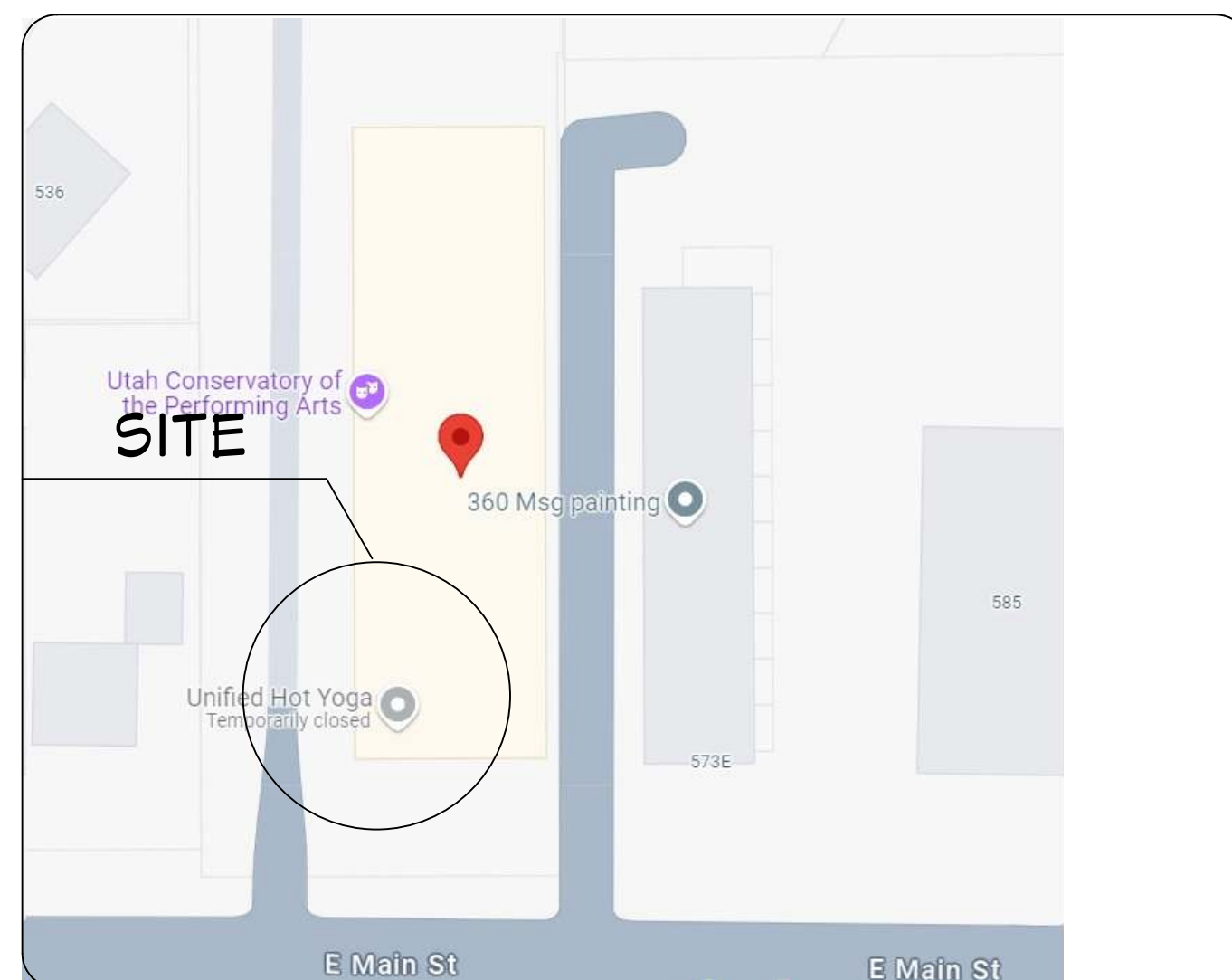
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#6694, Atlanta, GA 30350
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SHEET NUMBER

G01



RENDERING
FOR ILLUSTRATION ONLY



GENERAL NOTES:

THIS PLAN SET, COMBINED WITH THE BUILDING CONTRACT, PROVIDES BUILDING DETAILS FOR THE COMMERCIAL PROJECT. THE CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES. CONTRACTOR SHALL BE RESPONSIBLE AND BEAR ANY FINES OR PENALTIES FOR CODE, ORDINANCE, REGULATION OR BUILDING PROCESS VIOLATIONS. INSURANCES SHALL BE IN FORCE THROUGHOUT THE DURATION OF THE BUILDING PROJECT.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS). ALL TRADES SHALL MAINTAIN A CLEAN WORK SITE AT THE END OF EACH WORK DAY.

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING DESIGN AND CODE DATA:

NOTE: THIS WAS A PURPOSE DRAWING Branch Circuitry and Panel designations to be designed and installed by certified local electrician. L.S. (NFPA 101 LIFE SAFETY CODE) AS APPLICABLE.

APPLICABLE BUILDING CODES:

- International Building Code 2021
- International Residential Code 2021
- National Electrical Code 2020
- International Plumbing Code 2021
- International Mechanical Code 2021
- International Existing Building Code 2021
- ADA CODE ICC A117.1-2009

CONSTRUCTION TYPE: (BASED ON CHAPTER 5 OF THE IBC)

CONSTRUCTION TYPE: V B
FIRE RATINGS FOR BUILDING ELEMENTS (BASED ON SECTION 602.1 & TABLES 601 & 602 OF THE IBC):

FIRE PROTECTION SYSTEMS SUMMARY:

EXISTING SPRINKLER SYSTEM

TOTAL PROJECT EVALUATION IS \$50,000

CODE INFORMATION:

PROJECT DESCRIPTION:

RENOVATION OF HOT YOGA STUDIO

BUILDING CODE:

INTERNATIONAL BUILDING CODE - 2021

PROJECT SQUARE FOOTAGE:

EXISTING TO REMAIN

CHAPTER 3- CLASSIFICATION:

EXISTING: DANCE STUDIO/ EVENT SPACE- A-3 CLASSIFICATION
PROPOSED: HOT YOGA STUDIO -A-3 CLASSIFICATION

CHAPTER 5- HEIGHT AND AREA:

EXISTING TO REMAIN

CHAPTER 6- CONSTRUCTION TYPE:

EXISTING TO REMAIN

CHAPTER 7- FIRE SEPARATION AND RATINGS:

EXISTING TO REMAIN

CHAPTER 8- INTERIOR FINISH RATINGS:

EXISTING TO REMAIN:

CHAPTER 9- FIRE PROTECTION:

EXISTING TO REMAIN

CHAPTER 9- FIRE AND SMOKE ALARMS:

EXISTING TO REMAIN

CHAPTER 10- MEANS OF EGRESS:

EXISTING TO REMAIN

CHAPTER 29- PLUMBING FIXTURES:

5- WATER CLOSET AND 6- LAVATORY PROVIDED

OCCUPANCY LOAD CALCULATION

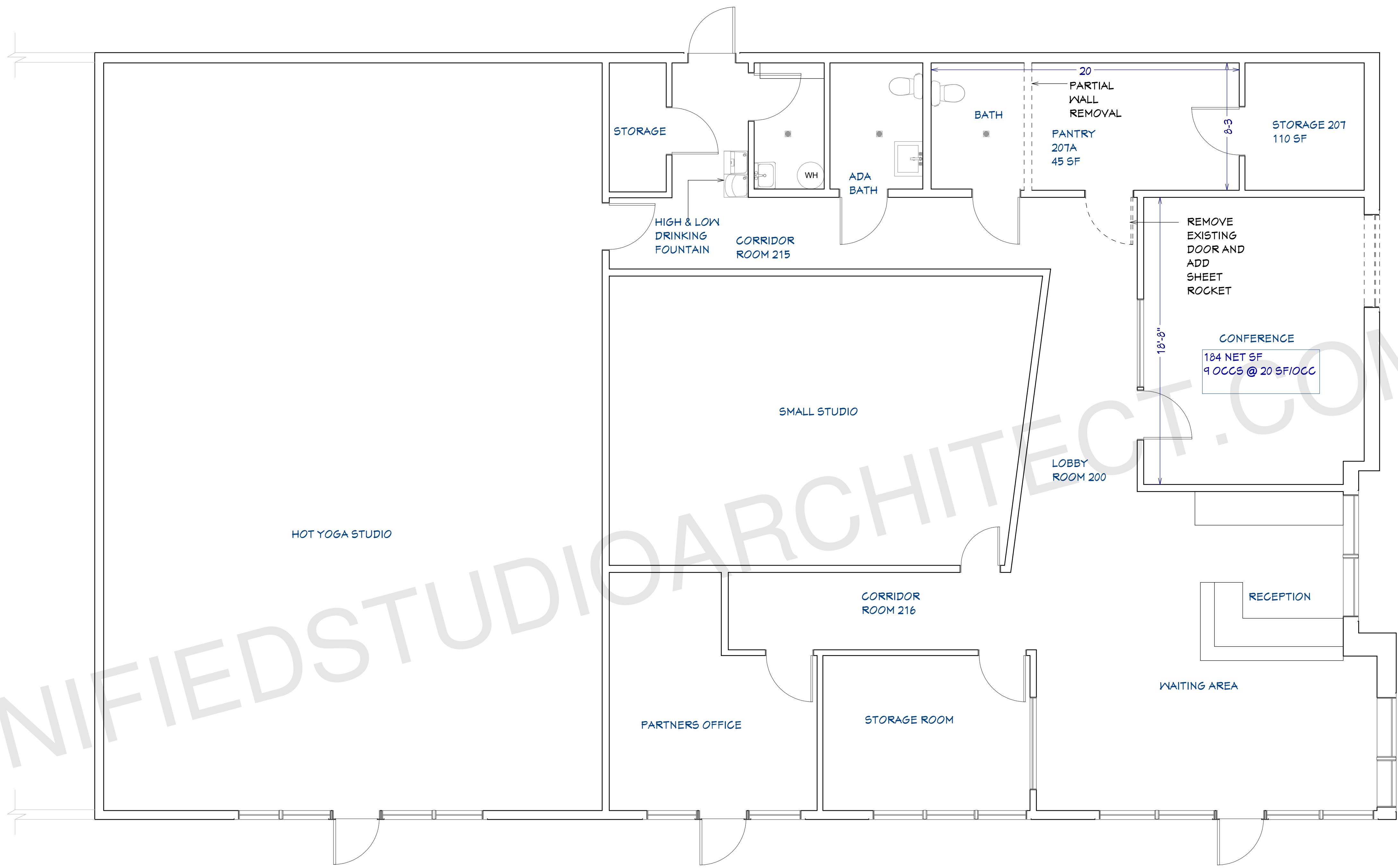
HOT YOGA STUDIO	= 1571.25F/50GROSS	= 32 OCCUPANTS
STUDIO ROOM	= 505.35F/150	= 4 OCCUPANTS
PARTNER'S OFFICE	= 175 SF/150	= 2 OCCUPANTS
RECEPTION	= 142.72 SF/100	= 2 OCCUPANTS
WAITING AREA	= 230/15	= 16 OCCUPANTS
TOTAL OCCUPANTS		= 56

OWNER: [REDACTED]
PROJECT: HOT YOGA STUDIO RENOVATION
ADDRESS: [REDACTED]

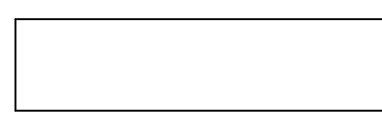
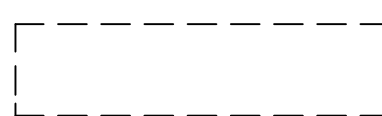
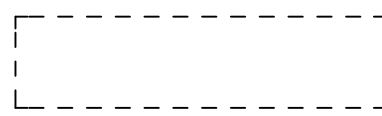
WATER/SEWER :PUBLIC
PARCEL ID :120680058
COUNTY :UTAH
OCCUPANCY CLASSIFICATION USE: B(BUSINESS)
ARCHITECT NAME : ASWIN KUMAR
ARCHITECT CONTACT : +1 302-889-1886

INDEX

Label	Title
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D01	SPECIFICATIONS



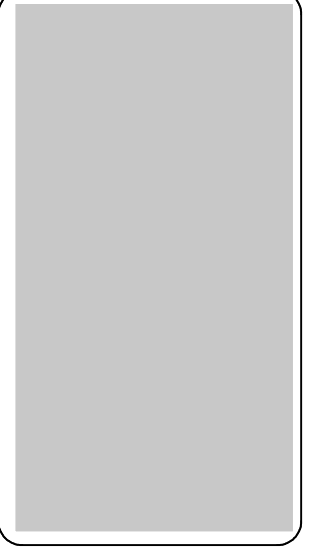
EXISTING FLOOR PLAN
1/4"=1'

LEGEND	
	EXISTING
	DEMOLISHED
	RELOCATED

FLOOR PLAN NOTES:

- 1 ALL EXTERIOR DIMENSIONS ARE TO THE FRAMING OR MAIN LAYER.
- 2 CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

ARCHITECT SEAL:

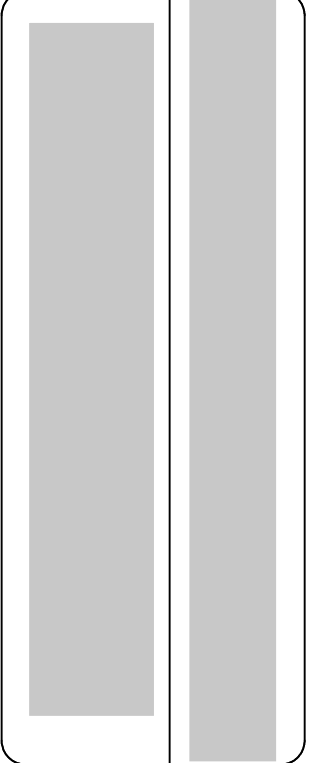


ASBUILT FLOOR PLAN

SCALE @ 24" X 36"

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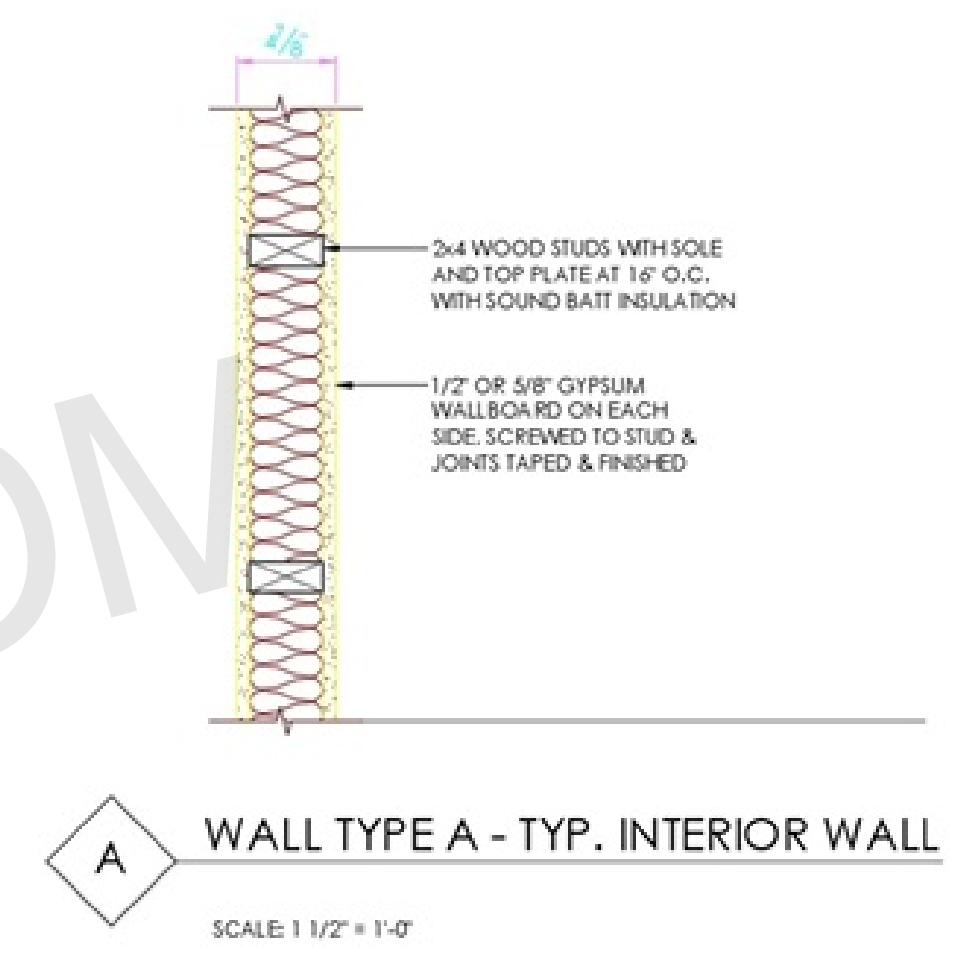
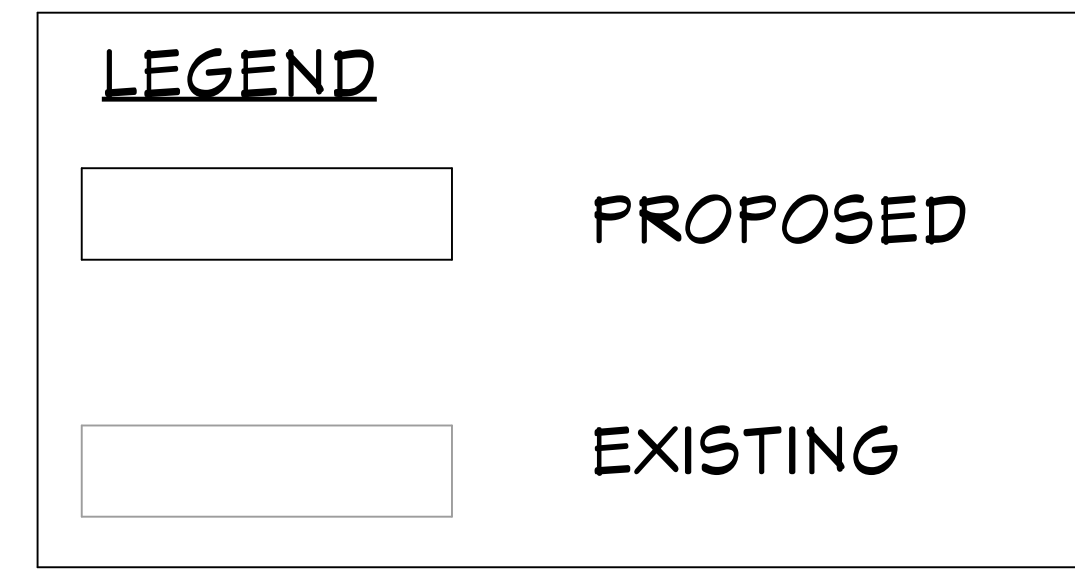
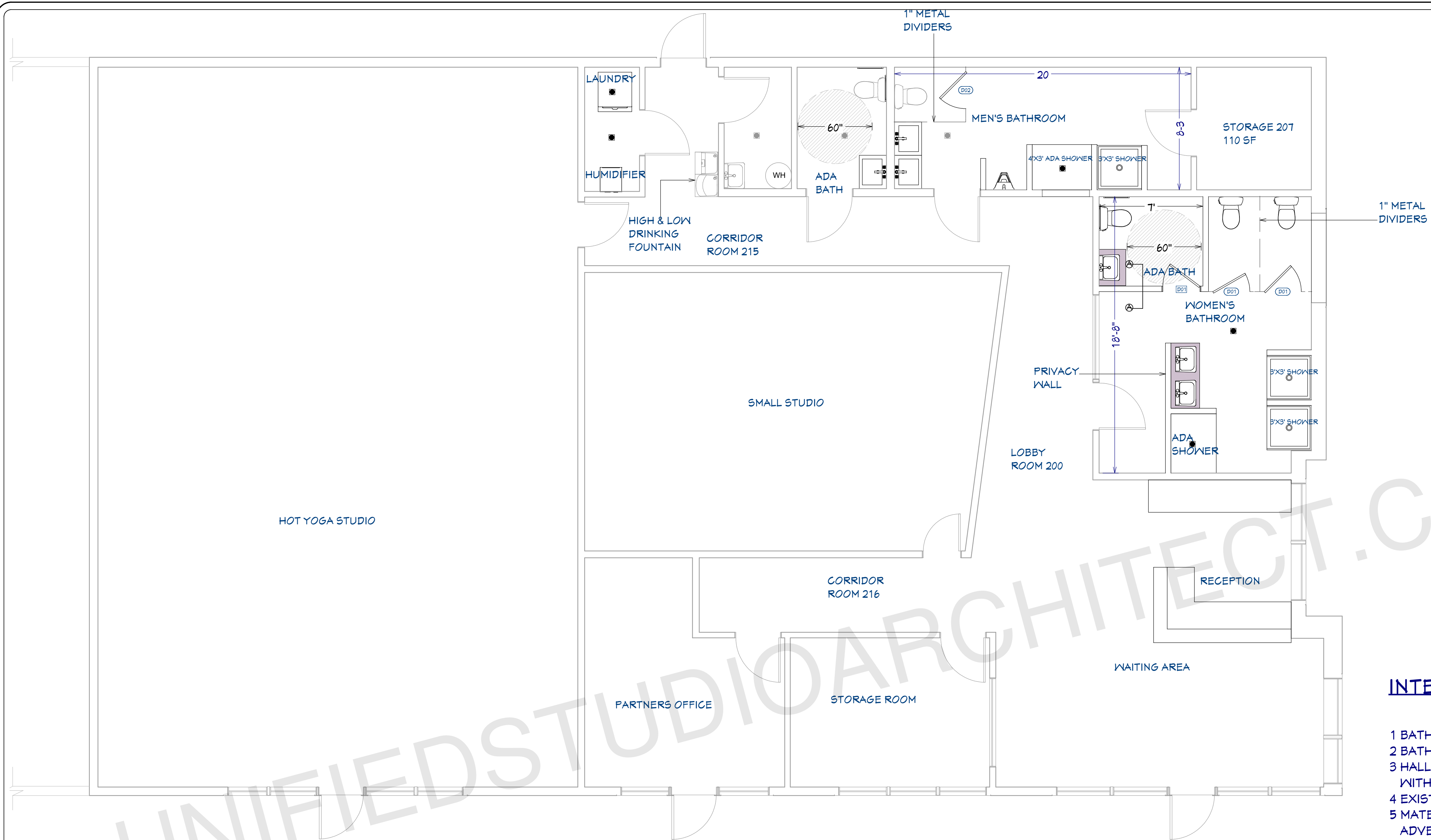


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SHEET NUMBER

A02

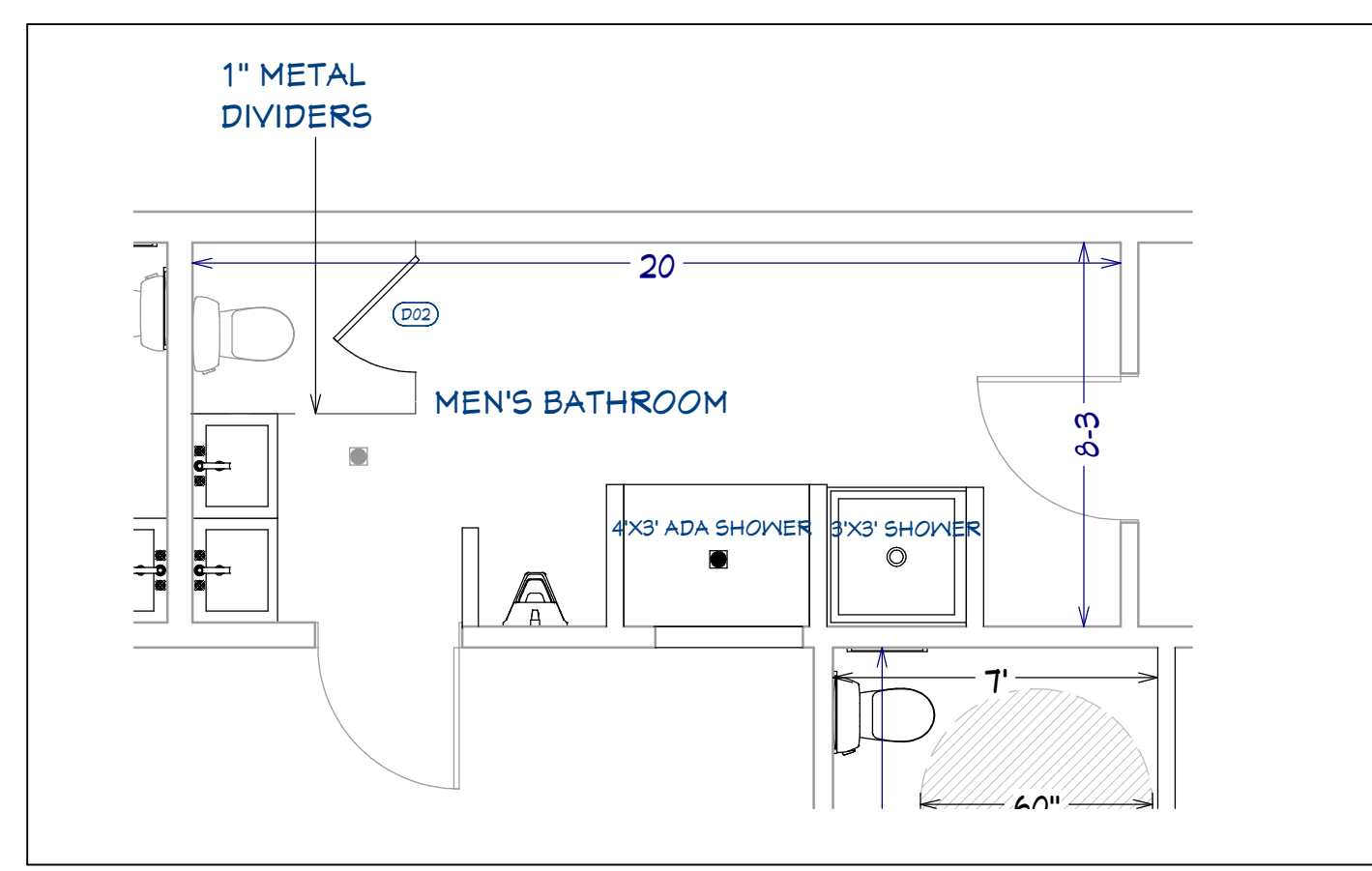


INTERIOR FINISH NOTES:

- 1 BATHROOM WALLS ARE OF SHEET ROCK AND CINDER BLOCKS.
- 2 BATHROOM SHOWERS ARE ACRYLIC INSERTS
- 3 HALLWAY, LOBBY, CLOSETS AND BATHROOM FLOORS ARE CEMENT WITH A GLAZE
- 4 EXISTING ADA BATHROOM IS OF TILE FLOOR AND 1/2 TILE WALL
- 5 MATERIALS USED IN PARTITION WALL SHOULD BE OF NOT ADVERSELY AFFECTED BY MOISTURE

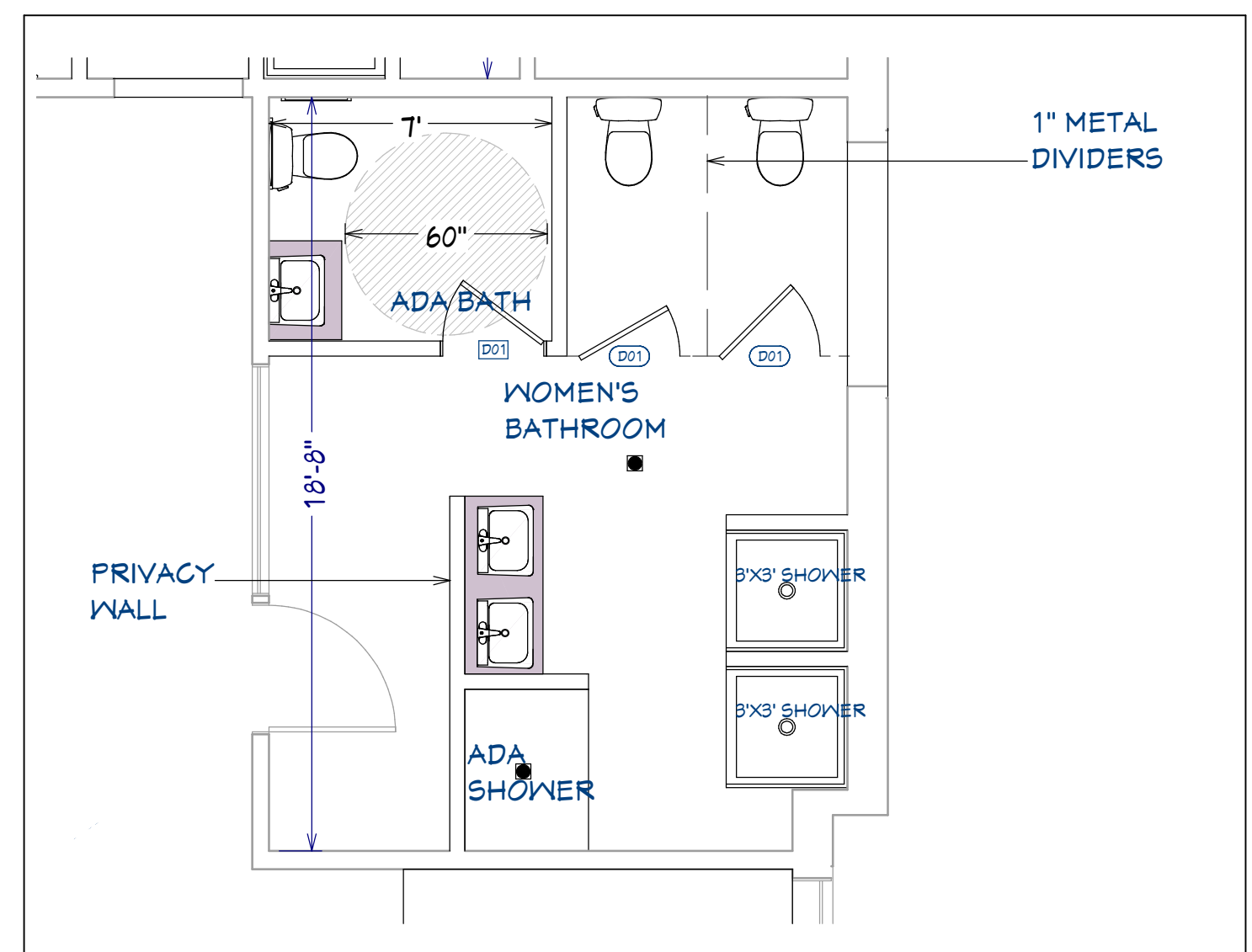
PROPOSED FLOOR PLAN

1/4"=1'



ENLARGED VIEW OF MEN'S BATHROOM

1/4"=1'



ENLARGED VIEW OF WOMEN'S BATHROOM

1/4"=1'

PLUMBING FIXTURE SCHEDULE							
NUMBER	DESCRIPTION	QTY	FLOOR	WIDTH	DEPTH	HEIGHT	COMMENTS
A01	ADA SHOWER	2	1	48"	36"	78"	PROPOSED
A02	DEHUMIDIFIER	1	1	20 3/16"	17 1/2"	36 1/2"	PROPOSED
A03	LAUNDRY CENTER	1	1	27 1/4"	32"	71 3/4"	PROPOSED
A04	PEDESTAL SINK 01	4	1	27"	22"	39 15/16"	EXISTING
A05	RECTANGULAR SINK	4	1	21"	16 1/2"	14 3/8"	3-PROPOSED; 1-EXISTING
A06	SMALL ELECTRIC WATER HEATER	1	1	24 1/2"	23"	48 1/16"	EXISTING
A07	SQUARE DRAIN	8	1	4 1/2"	4 1/2"	1 3/4"	5-PROPOSED; 3-EXISTING
A08	SQUARE SHOWER PAN [36]	3	1	36"	36"	5"	PROPOSED
A09	STANDARD TOILET	6	1	20"	26 5/16"	28 9/16"	3-PROPOSED; 1-EXISTING
A10	URINAL (WALL)	1	1	16 1/2"	13 15/16"	39 1/8"	PROPOSED
A11	FIRE EXTINGUISHER	3	1	10"	10"	15 1/8"	EXISTING
A12	DRINKING FOUNTAIN	1	1	36 1/8"	19"	39 1/8"	EXISTING

PLUMBING FIXTURE SCHEDULE

1/4"=1'

DOOR SCHEDULE							
NUMBER	LABEL	QTY	FLOOR	SIZE	R/O	DESCRIPTION	HEADER
D01	2668	2	1	2668 L IN	32"X82 1/2"	HINGED-DOOR P04	2"X6"X35" (2)
D02	2668	1	1	2668 R IN	32"X82 1/2"	HINGED-DOOR P04	2"X6"X35" (2)

DOOR SCHEDULE

1/4"=1'

ARCHITECT SEAL:

PROPOSED FLOOR PLAN

SCALE @ 24" X 36"

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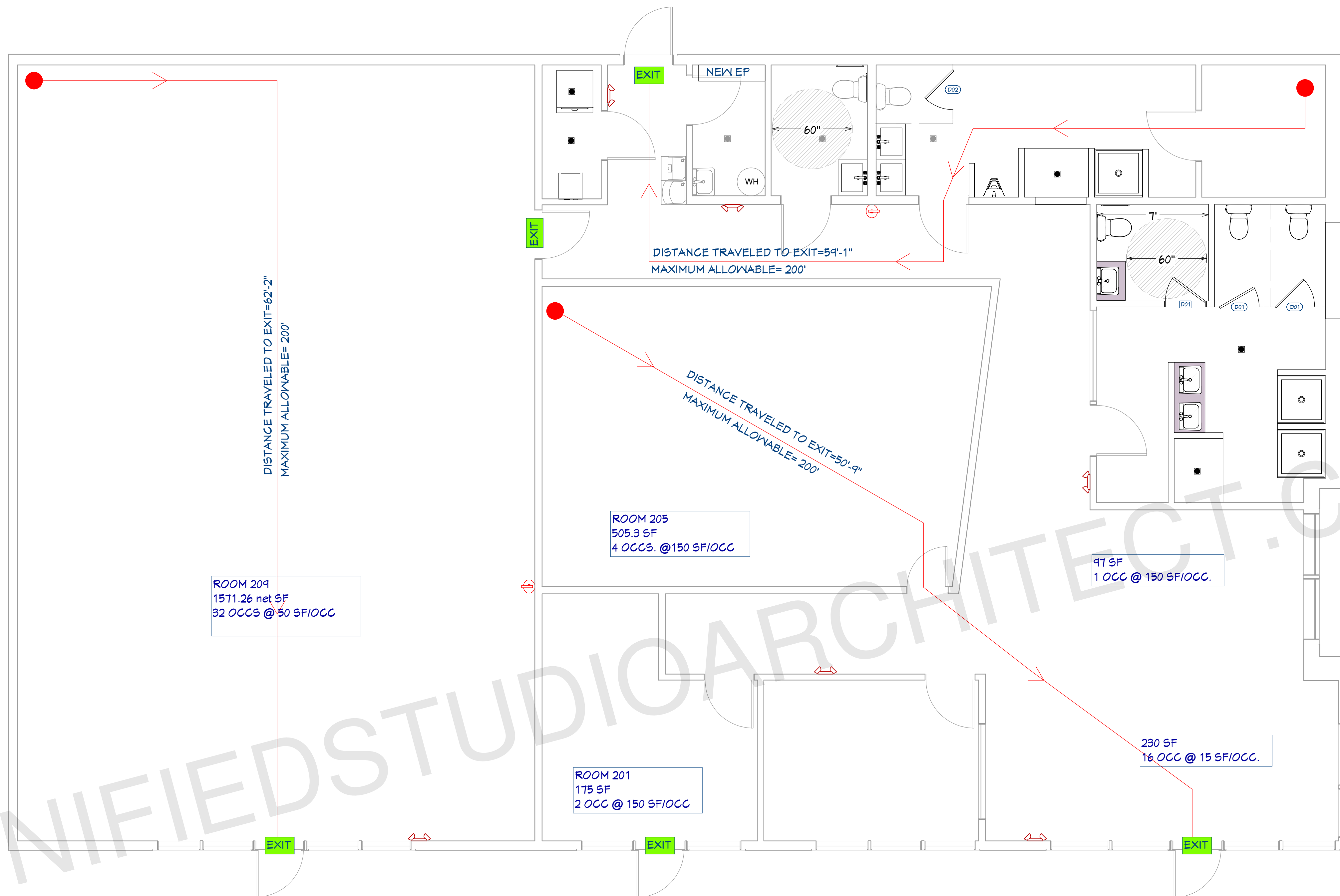
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SHEET NUMBER

A03



LIFE SAFETY PLAN

1/4"=1'

LEGEND:

	EXIT SIGN
	FIRE EXTINGUISHER
	EMERGENCY LIGHT
	EGRESS PATH

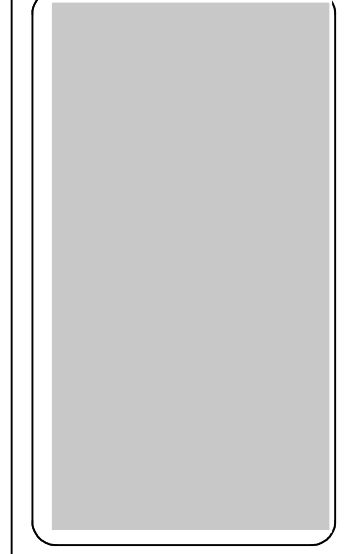
EGRESS PATH:
 MAXIMUM ALLOWABLE DISTANCE FOR TYPE A-2 CLASSIFICATION = 200'

EGRESS WIDTH:
 OCCUPANCY TYPE A-2 CLASSIFICATION (150 SQ.FT/ PERSON)

3668.5/150= 24.4
 = 24.4X0.2
 =4.8"
 =36" PROVIDED

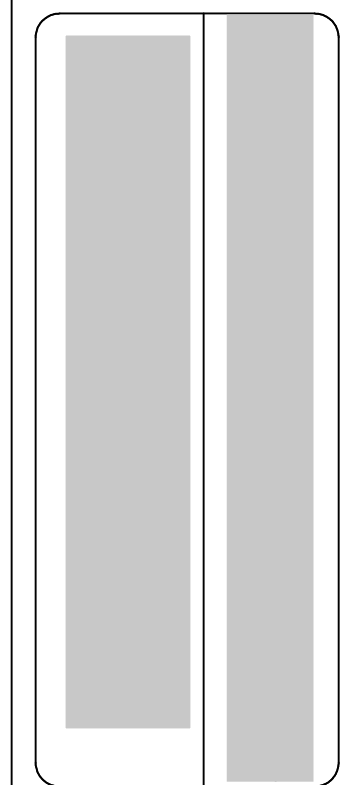
- EGRESS AND FIRE NOTES**
1. FIRE EXTINGUISHER CABINET (FEC) SHALL BE WALL BE EITHER CABINET TYPE OR WALL HUNG. RATED CABINETS TO MATCH CLASS OF REQUIRED EXTINGUISHER.
 2. APPROVED BUILDING NUMBER AND ADDRESS SHALL BE PLACED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.
 3. AT ANY TIME THE BUILDING IS OCCUPIED, THE MEANS OF EGRESS SHALL BE ILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE AT FLOOR LEVEL. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE ALL EGRESS COMPONENTS INCLUDING AISLES, EGRESS STAIRWAYS, AND CORRIDORS FOR NOT LESS THAN 90 MINUTES AND SHALL BE EQUIPPED WITH STORAGE BATTERIES.
 4. EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
 5. PROVIDE TACTILE EXIT SIGNS AT EXIT DOORS
 6. DEVICE LOCATIONS ARE DIAGRAMMATIC - REFER TO EGRESS PLANS FOR LAYOUT LOCATIONS AND EXIT ACCESS TRAVEL DISTANCES.
 7. EXIT SIGNS -MOUNTED AT STOREFRONT SYSTEMS -MOUNT TO FRAME AT DOOR HEAD
 8. CONTRACTOR SHALL PROVIDE TACTILE SIGNS AT LOCATIONS REQUIRED BY ADA

ARCHITECT SEAL:

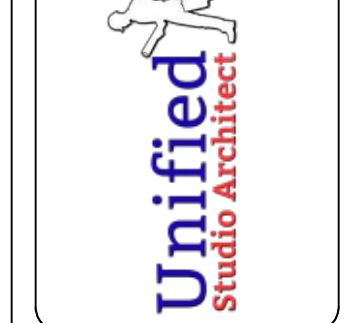


LIFE SAFETY PLAN

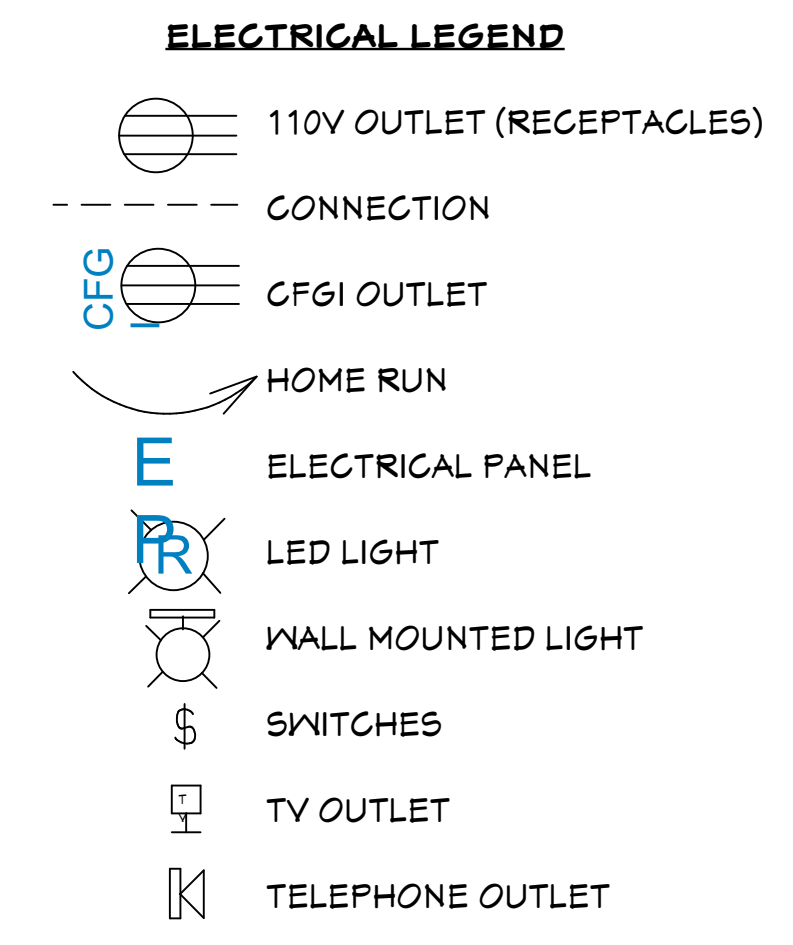
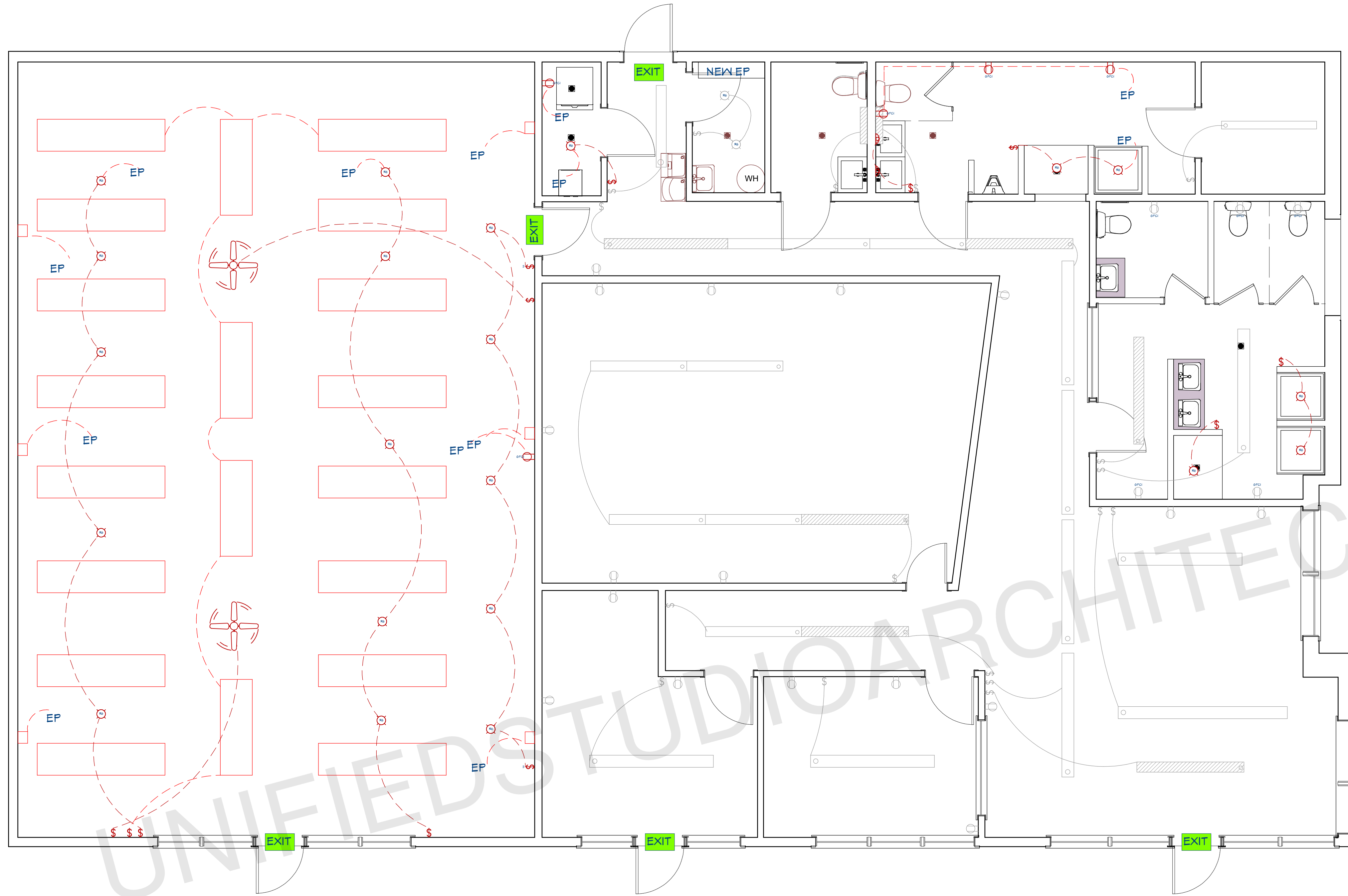
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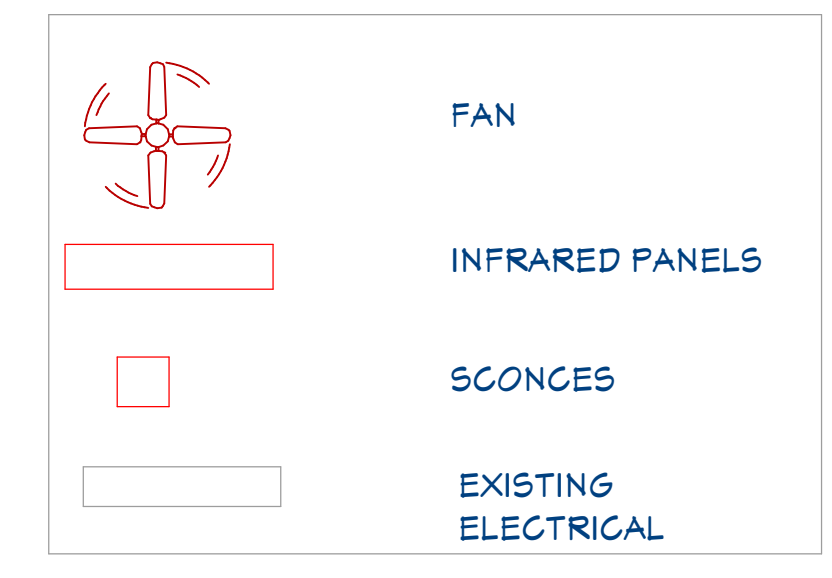
SHEET NUMBER
A09



NOTE:
BRANCH CIRCUITRY AND PANEL SHALL BE DESIGNED AND INSTALLED BY CERTIFIED LOCAL ELECTRICIAN

ABBREVIATIONS AND CALLOUTS (TYP.)

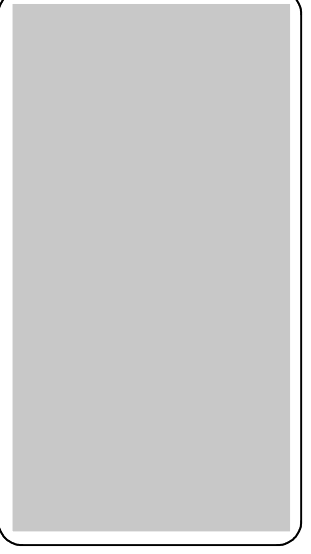
Δ	DELTA	IU-X	INDOOR UNIT
Y	WYE	J/JB	JUNCTION BOX
A	AMPS	kcmil	THOUSAND CIRCULAR MIL
AC	ALTERNATING CURRENT	KEF-X	KITCHEN EXHAUST FAN
AD	ACCESS DOOR	kW	KILOWATT
AFCI/AFI	ARC FAULT CIRCUIT INTERRUPTER	L-X	LOUVER (POWERED)
AFF	ABOVE FINISH FLOOR	LED	LIGHT EMITTING DIODE
AHU-X	AIR HANDLING UNIT	MAU-X	MAKE UP AIR UNIT
AIC	AMPERE INTERRUPTING CAPACITY	MAX	MAXIMUM
AJD	ADJUSTABLE	MCA	MAX. CIRCUIT AMPERAGE
AL	ALUMINUM	MCB	MAIN CIRCUIT BREAKER
AOR	ARCHITECT OF RECORD	MCC	MOTORIZED CONTROL CENTER
ATS	AUTOMATIC TRANSFER SWITCH	MIN	MINIMUM
BC-X	BRANCH CONTROLLER	MIU-X	MULTI-SPLIT INDOOR UNIT
BKR	BREAKER	MLO	MAIN LUGS ONLY
BOD	BASIS OF DESIGN	MOCP	MAX. OVERCURRENT PROTECTION
CB	CIRCUIT BRANCH	MOU-X	MULTI-SPLIT OUTDOOR UNIT
CLG	CEILING	MOD	MOTORIZED DAMPER
COMP-X	COMPRESSOR	N	NEUTRAL
CU	COPPER	N/A	NOT APPLICABLE
CU-X	CONDENSING UNIT	NC	NORMALLY CLOSED
DC	DIRECT CURRENT	NO	NORMALLY OPEN
DIM	DIMMER	OU-X	OUTDOOR UNIT
DWGS	DRAWINGS	PNL	PANEL
EDH	ELECTRICAL DUCT HEATER	PIU-X	POWERED INDUCTION UNIT
EF-X	EXHAUST FAN	RMS	ROOT MEAN SQUARE
EOB	ENGINEER OF RECORD	RTU-X	ROOFTOP UNIT
EX	EXISTING	SF	SQUARE FEET
FA	FIRE ALARM	SWBD	SWITCHBOARD
FAA	FIRE ALARM ANNUNCIATOR PANEL	TP	TAMPER PROOF
FACP	FIRE ALARM CONTROL PANEL	TV	TELEVISION
FCU-X	FAN COIL UNIT	TYP	TYPICAL
FD	FIRE DAMPER	UG	UNDERGROUND
FSD	FIRE/SMOKE DAMPER	UH-X	UNIT HEATER (ELECTRIC)
FT	FEET	V	VOLTS
G/GRND	GROUND	VA	VOLT-AMPERES
GEN	GENERATOR	VAV-X	VARIABLE AIR VOLUME UNIT
GFCI/GFI	GROUND FAULT CIRCUIT INTERRUPTER	VMD	VOLUME DAMPER (MANUAL)
GUH-X	GAS UNIT HEATER	VFD	VARIABLE FREQUENCY DRIVE
H/C	HEATING COIL	W	WATTS
HP	HORSEPOWER	W/	WITH
HP-X	HEAT PUMP	WH-X	WATER HEATER
HR	HOUR	WP	WEATHERPROOF
HZ	HERZ	XFMR	TRANSFORMER
IG	ISOLATED GROUND	XP	EXPLOSION PROOF
IN	INCHES	Z	IMPEDANCE



ELECTRICAL PLAN
1/4"=1'

**NOTE: EXISTING FIXTURES ARE TO REMAIN UNLESS OTHERWISE SHOWN.
FIXTURES SHOWN ARE PROPOSED**

ARCHITECT SEAL:

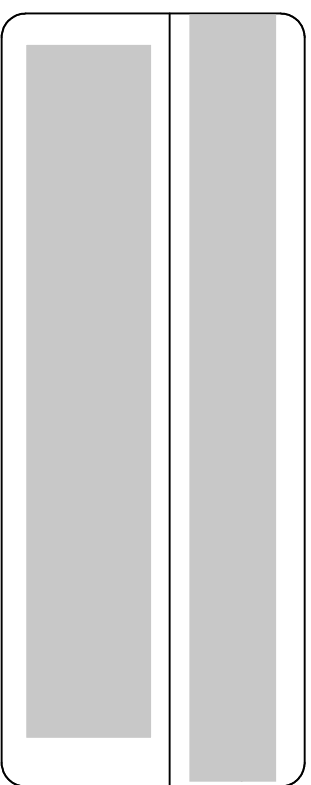


ELECTRICAL PLAN

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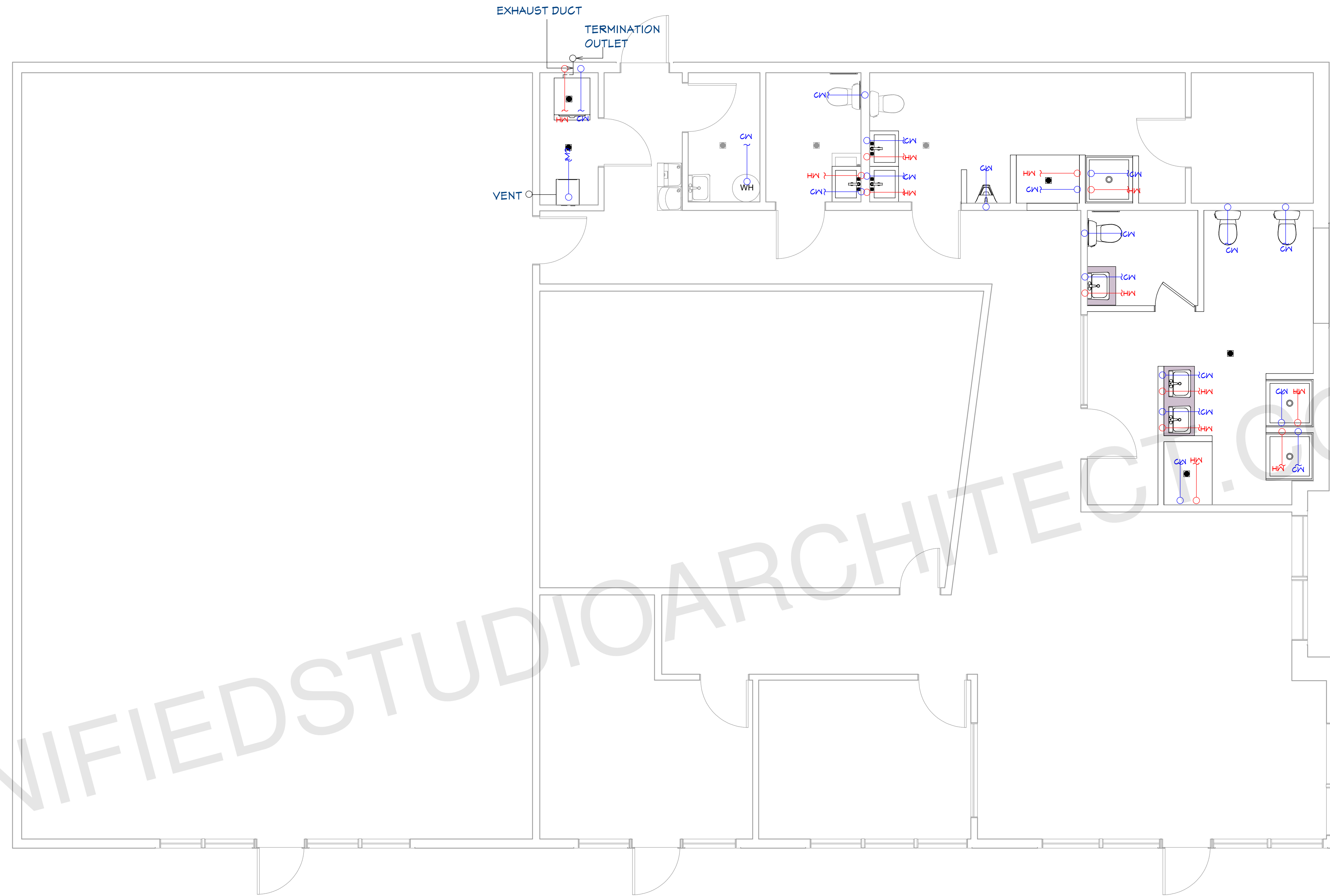
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A10



NOTE: CONTRACTOR TO INSPECT EXISTING PLUMBING TO VERIFY CONDITIONS IN FIELD AND MODIFY AS REQUIRED TO CONNECT NEW FIXTURES.

General Notes:

- Selection of Cleanout Locations:
- 1. The contractor shall select and provide suitable cleanout locations as per the plumbing layout and site conditions.
- 2. Cleanouts must be installed at the base of all vertical soil and waste stacks.
- 3. Cleanouts should be located at every change in direction greater than 45 degrees and at intervals not exceeding 100 feet for horizontal drainage piping.
- 4. Cleanouts must be easily accessible for maintenance and inspection.
- 5. Exterior cleanouts should be placed at least 3 feet from the foundation wall.
- 6. All cleanout locations must comply with local plumbing codes and be approved by the plumbing inspector.
- 7. Ensure cleanouts are capped and properly sealed when not in use.
- 8. Contractor to verify and coordinate the final cleanout locations with the site supervisor and plumbing engineer.

DOMESTIC PIPELINE PLAN

1/4"=1'

PLUMBING LEGEND	
SYMBOL	DESCRIPTION
— HW —	HOT WATER, COPPER TYPE L, OR CPVC
— W —	COLD WATER, COPPER TYPE L, OR PVC
— SS —	WASTE, PVC, SCHEDULE 40 (DWV)
— V —	VENT, (DWV)

PIPE SIZES:

- Cold Water Pipe Line = 3/4"
- Hot Water Pipe Line = 1/2"
- Sewer Pipe = 2.5"
- Main sewer Pipe = 3"
- Vent = 2"

ARCHITECT SEAL:

**PLUMBING
PLAN**

SCALE @ 24" X 36"

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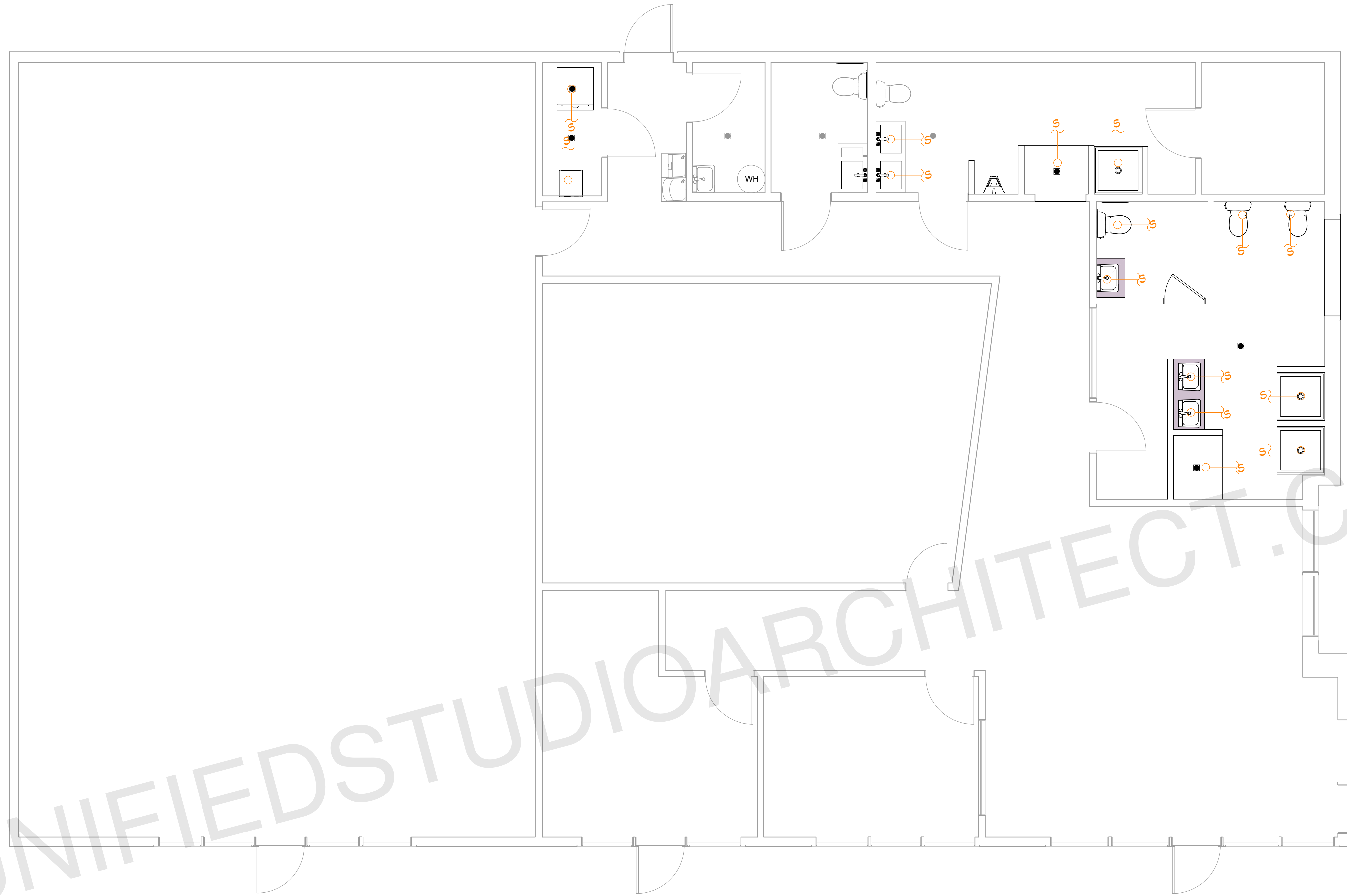
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E02



NOTE: CONTRACTOR TO INSPECT EXISTING PLUMBING TO VERIFY CONDITIONS IN FIELD AND MODIFY AS REQUIRED TO CONNECT NEW FIXTURES.

SEWER PLAN

1/4"=1'

PIPE SIZES:	
Cold Water Pipe Line	= 3/4"
Hot Water Pipe Line	= 1/2"
Sewer Pipe	= 2.5"
Main sewer Pipe	= 3"
Vent	= 2"

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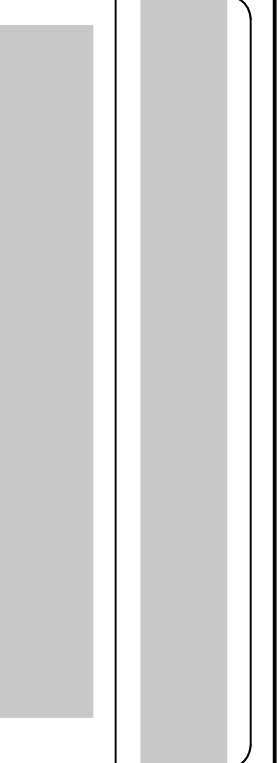


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E03