

SINGLE-FAMILY RESIDENTIAL BUILDING

ARCHITECT SEAL:

PROJECT SUMMARY

SCALE @ 24" X 36"

DATE: 10-16-2024

DRAWN BY: AK

SHEET NUMBER

G01

8735 Dunwoody Place
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VICINITY MAP
NOT TO SCALE



RENDERING
FOR ILLUSTRATION ONLY



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GENERAL NOTES:

THIS PLAN SET, COMBINED WITH THE BUILDING CONTRACT, PROVIDES BUILDING DETAILS FOR THE RESIDENTIAL PROJECT. THE CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES. CONTRACTOR SHALL BE RESPONSIBLE AND BEAR ANY FINES OR PENALTIES FOR CODE, ORDINANCE, REGULATION OR BUILDING PROCESS VIOLATIONS. INSURANCES SHALL BE IN FORCE THROUGHOUT THE DURATION OF THE BUILDING PROJECT.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS). ALL TRADES SHALL MAINTAIN A CLEAN WORK SITE AT THE END OF EACH WORK DAY.

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING DESIGN AND CODE DATA:

NOTE: THIS WAS A PURPOSE DRAWING Branch Circuitry and Panel designations to be designed and installed by certified local electrician. L.S. (NFPA 101 LIFE SAFETY CODE) AS APPLICABLE.

APPLICABLE BUILDING CODES:
STANDARD BUILDING CODE
NATIONAL ELECTRICAL CODE
STANDARD PLUMBING CODE
STANDARD MECHANICAL CODE
STANDARD FIRE PROTECTION CODE

CONSTRUCTION TYPE: (BASED ON CHAPTER 5 OF THE IBC)
CONSTRUCTION TYPE: V B
FIRE RATINGS FOR BUILDING ELEMENTS (BASED ON SECTION 602.1 & TABLES 601 & 602 OF THE IBC):

FIRE PROTECTION SYSTEMS SUMMARY:
AN AUTOMATIC FIRE SPRINKLER SYSTEM AS DESCRIBED PER IBC SECTION 903 IS NOT REQUIRED.

OWNER:

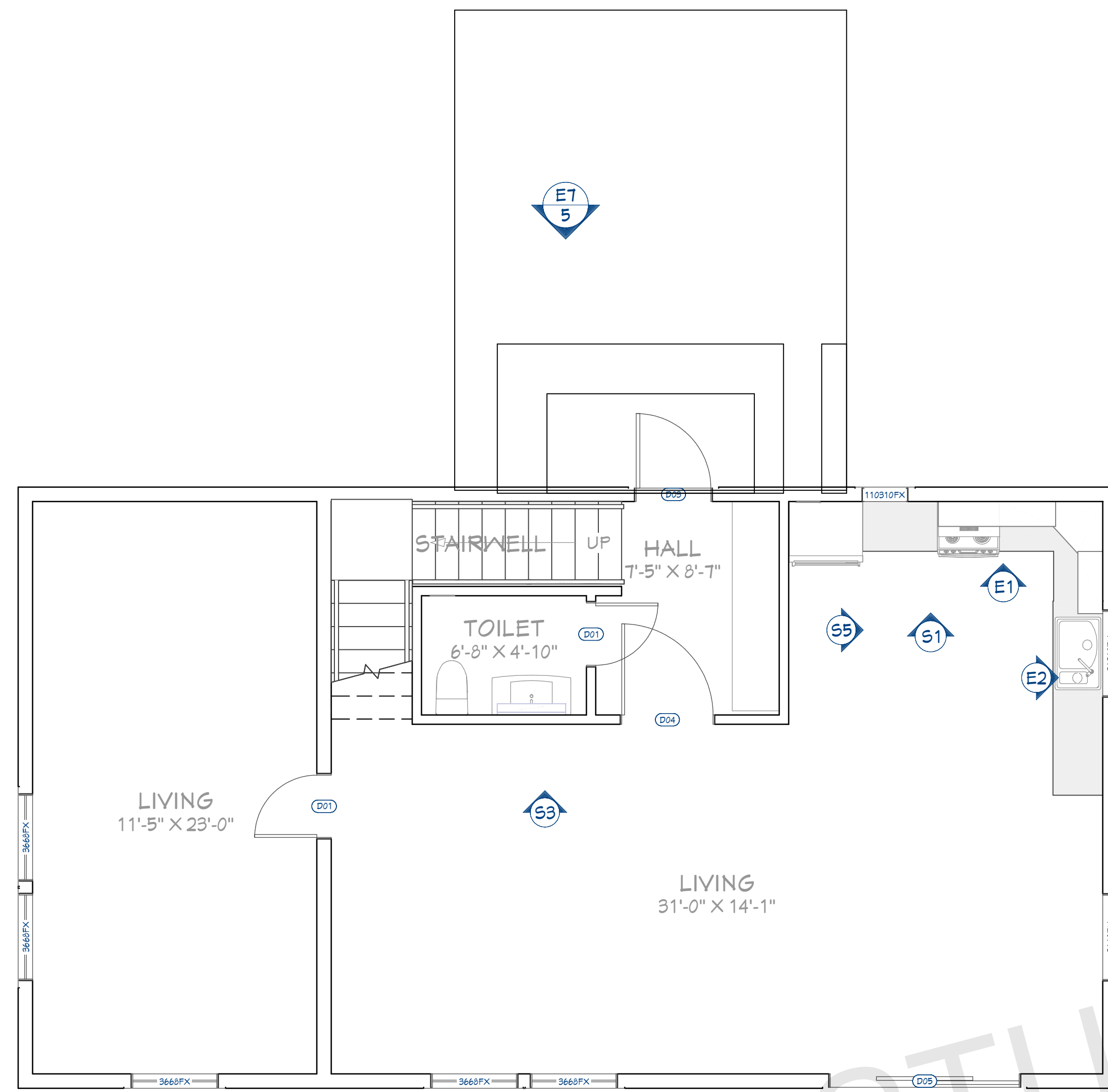
PROJECT: PROPOSED SINGLE-FAMILY RESIDENTIAL BUILDING
ADDRESS:

WATER/SEWER: PUBLIC
COUNTY: MURRAY

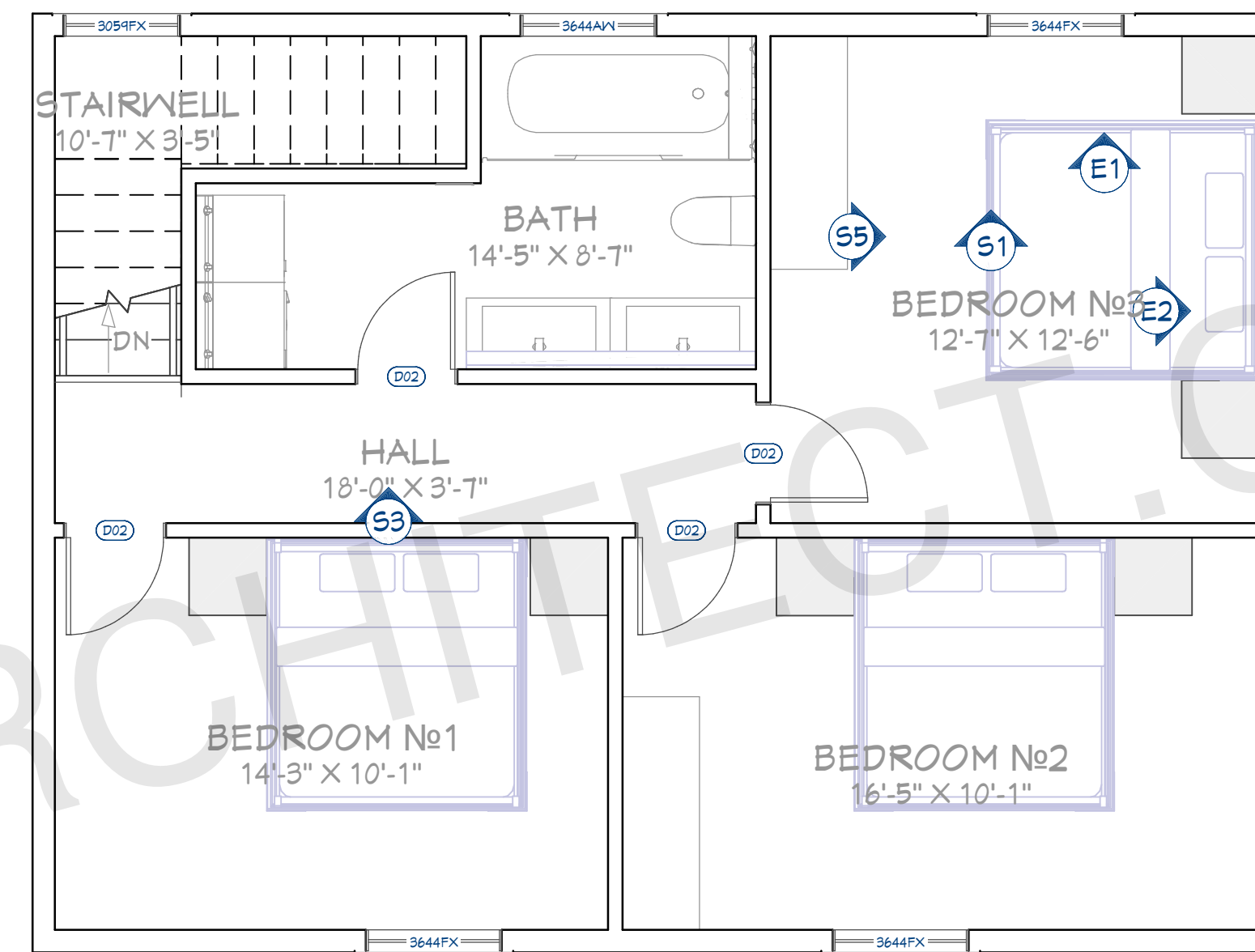
DESIGNER: ASWIN KUMAR

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PROPOSED 1ST FLOOR PLAN
1/4"=1'



PROPOSED 2ND FLOOR PLAN
1/4"=1'

FLOOR PLAN NOTES:

- 1 ALL EXTERIOR DIMENSIONS ARE TO THE FRAMING OR MAIN LAYER.
- 2 CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

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FLOOR PLAN

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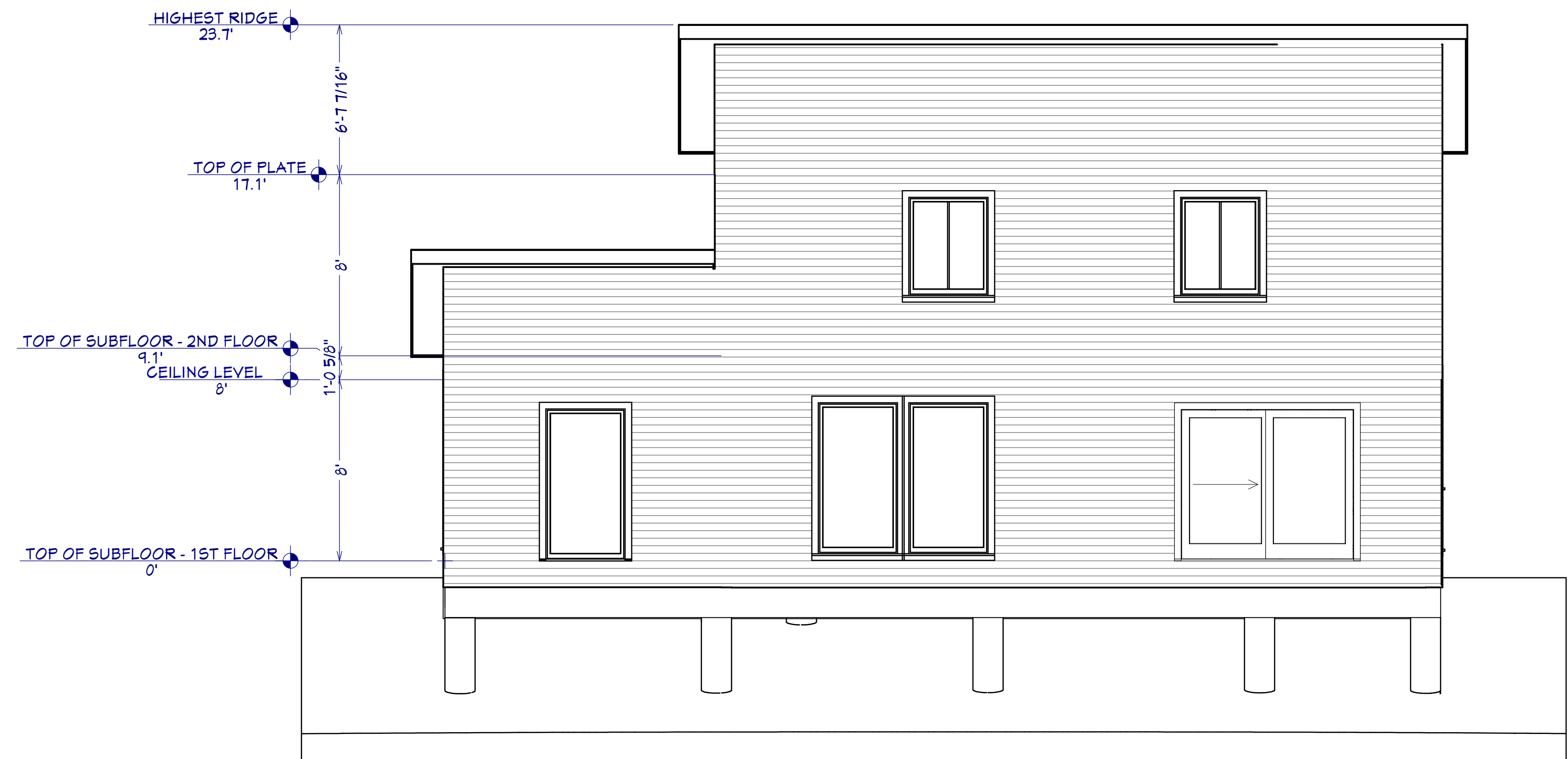


SHEET NUMBER

A02



FRONT ELEVATION
1/4"=1'



REAR ELEVATION
1/4"=1'

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ARCHITECT SEAL:

ELEVATION

SCALE @ 24" X 36"

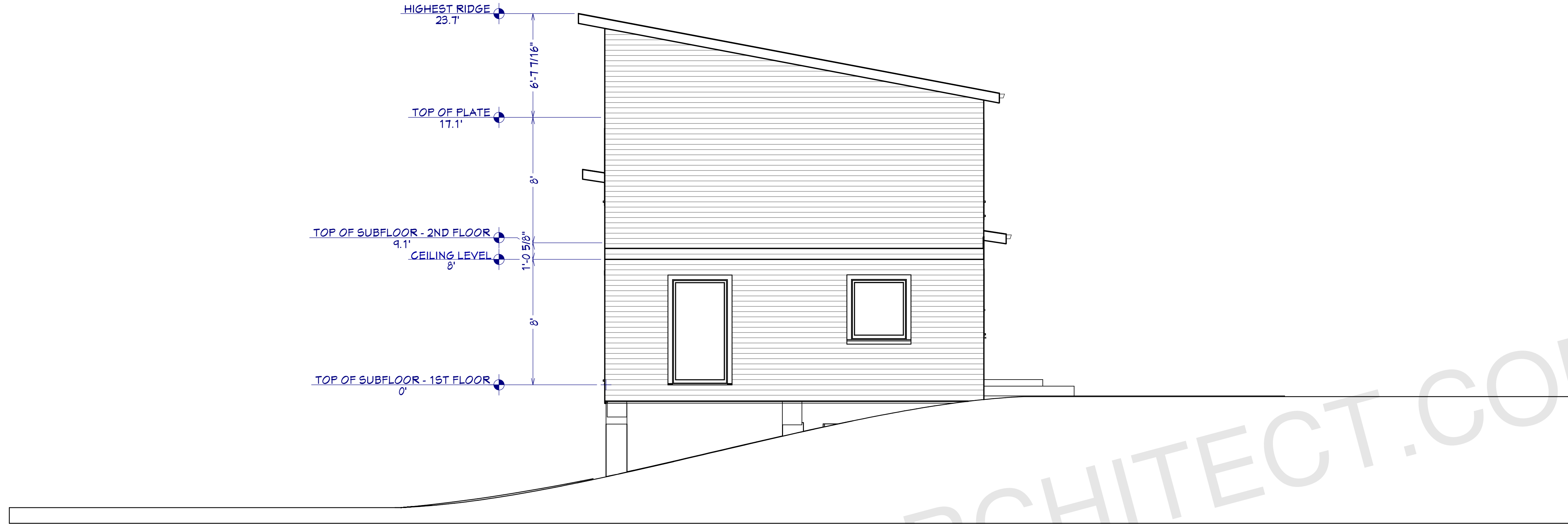
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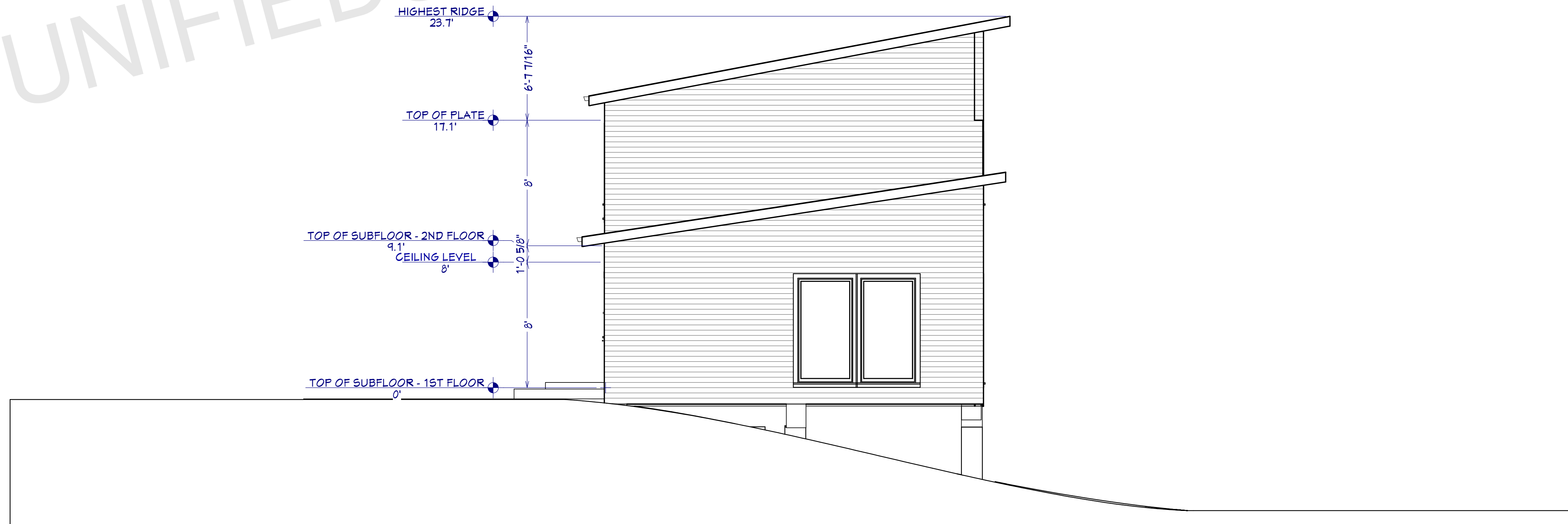
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SHEET NUMBER

A03



LEFT ELEVATION
1/4"=1'



RIGHT ELEVATION
1/4"=1'

ARCHITECT SEAL:

ELEVATION

SCALE @ 24" X 36"

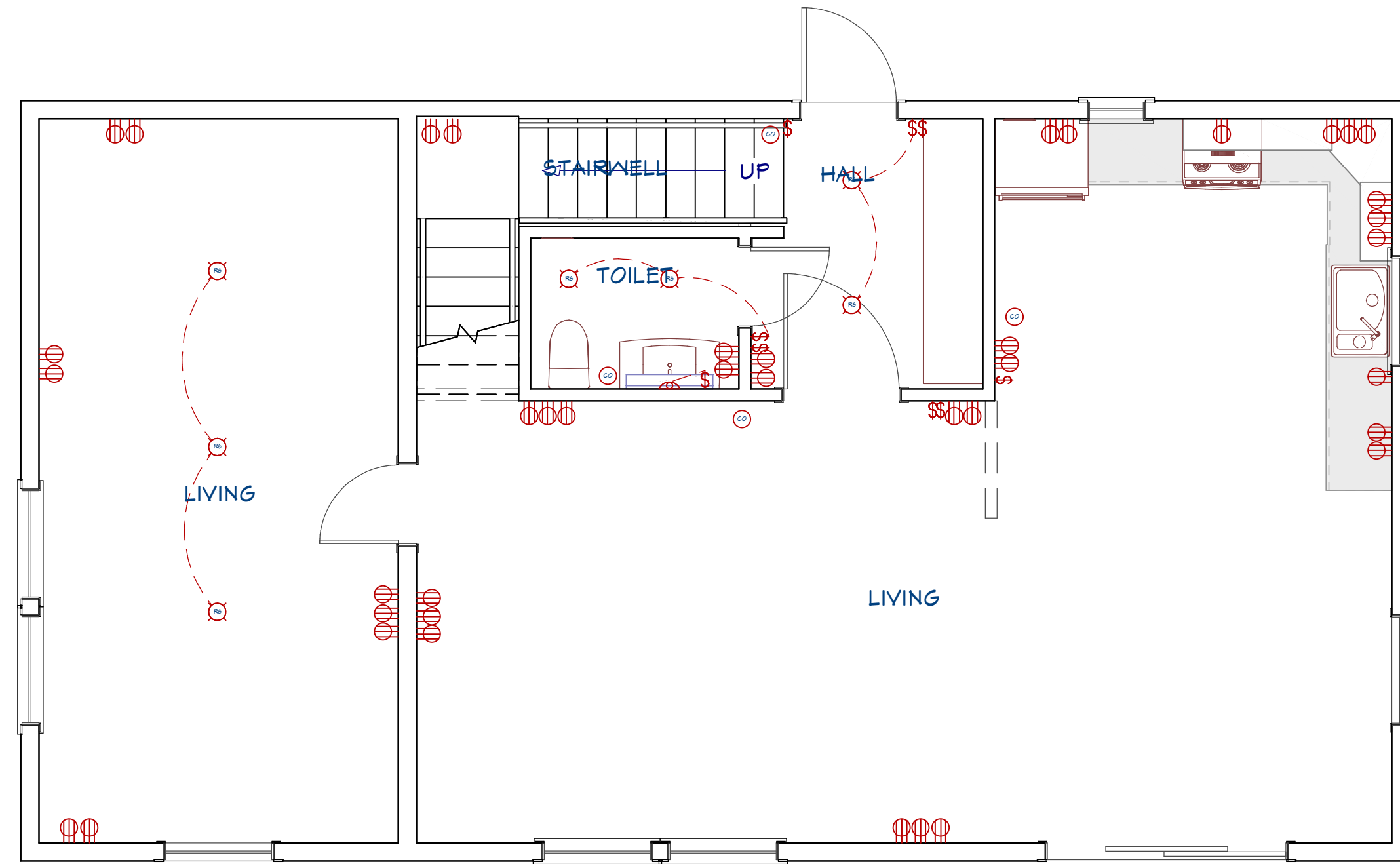
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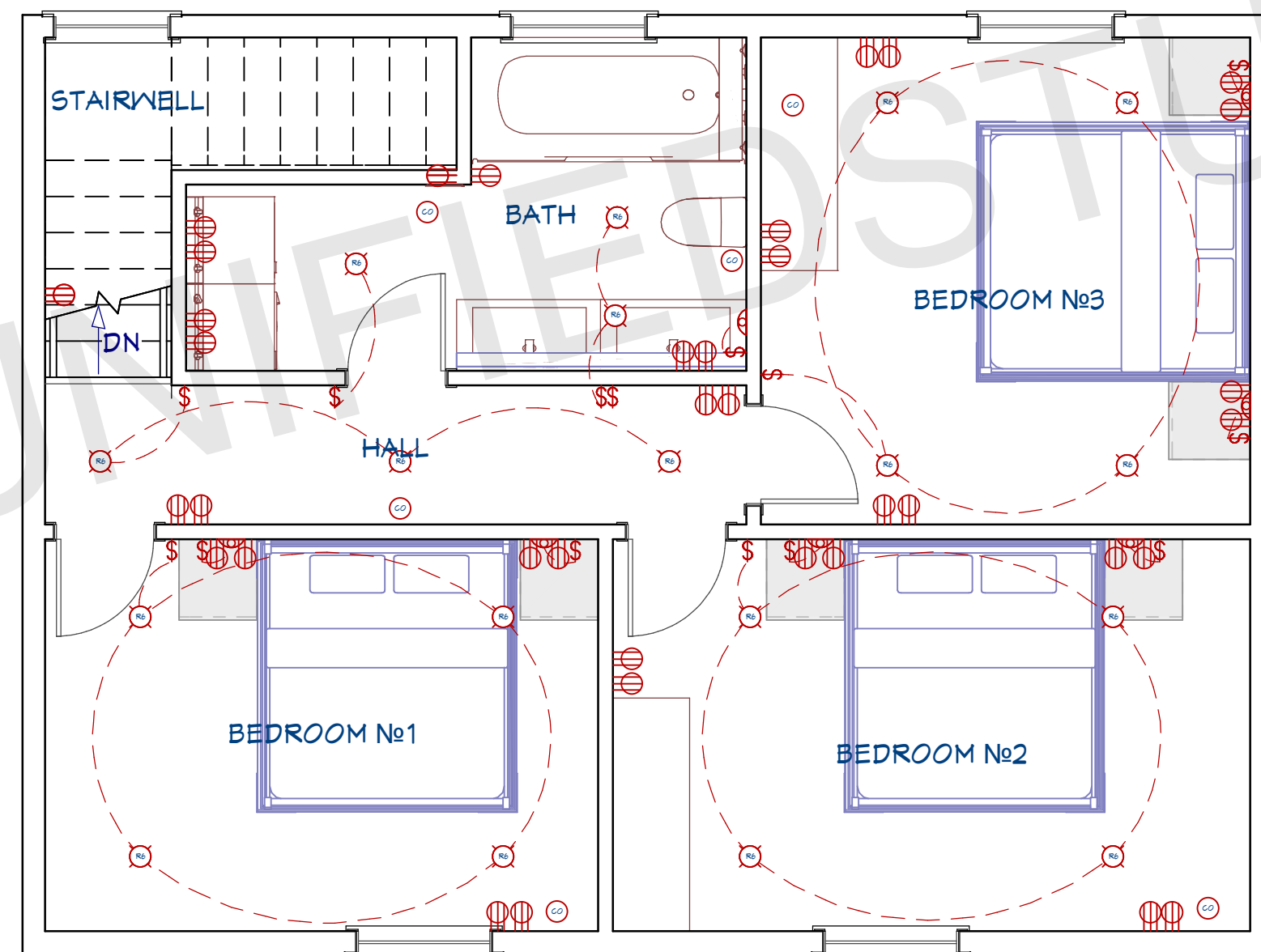
SHEET NUMBER

A09



**1ST FLOOR
ELECTRICAL PLAN**

1/4"=1'



**2ND FLOOR
ELECTRICAL PLAN**

1/4"=1'

ELECTRICAL LEGEND

- 110V OUTLET (RECEPTACLES)
- CONNECTION
- CFG1 OUTLET
- HOME RUN
- ELECTRICAL PANEL
- LED LIGHT
- WALL MOUNTED LIGHT
- SWITCHES
- TV OUTLET
- TELEPHONE OUTLET

NOTE:

BRANCH CIRCUITRY AND PANEL DESIGNATIONS TO BE DESIGNED AND INSTALLED BY CERTIFIED LOCAL ELECTRICIAN

ABBREVIATIONS AND CALLOUTS (TYP.)

Δ	DELTA	IU-X	INDOOR UNIT
y	WYE	J/JB	JUNCTION BOX
A	AMPS	kcmil	THOUSAND CIRCULAR MIL
AC	ALTERNATING CURRENT	KEF-X	KITCHEN EXHAUST FAN
AD	ACCESS DOOR	kW	KILOWATT
AFCI/AFI	ARC FAULT CIRCUIT INTERRUPTER	L-X	LOUVER (POWERED)
AFF	ABOVE FINISH FLOOR	LED	LIGHT EMITTING DIODE
AHU-X	AIR HANDLING UNIT	MAU-X	MAKE UP AIR UNIT
AIC	AMPERE INTERRUPTING CAPACITY	MAX	MAXIMUM
AJD	ADJUSTABLE	MCA	MAX. CIRCUIT AMPERAGE
AL	ALUMINUM	MCB	MAIN CIRCUIT BREAKER
AOR	ARCHITECT OF RECORD	MCC	MOTORIZED CONTROL CENTER
ATS	AUTOMATIC TRANSFER SWITCH	MIN	MINIMUM
BC-X	BRANCH CONTROLLER	MIU-X	MULTI-SPLIT INDOOR UNIT
BKR	BREAKER	MLO	MAIN LUGS ONLY
BOD	BASIS OF DESIGN	MOCB	MAX. OVERCURRENT PROTECTION
CB	CIRCUIT BRANCH	MOU-X	MULTI-SPLIT OUTDOOR UNIT
CLG	CEILING	MOD	MOTORIZED DAMPER
COMP-X	COMPRESSOR	N	NEUTRAL
CU	COPPER	N/A	NOT APPLICABLE
CU-X	CONDENSING UNIT	NC	NORMALLY CLOSED
DC	DIRECT CURRENT	NO	NORMALLY OPEN
DIM	DIMMER	OU-X	OUTDOOR UNIT
DWGS	DRAWINGS	PNL	PANEL
EDH	ELECTRICAL DUCT HEATER	PIU-X	POWERED INDUCTION UNIT
EF-X	EXHAUST FAN	RMS	ROOT MEAN SQUARE
EOR	ENGINEER OF RECORD	RTU-X	ROOFTOP UNIT
EX	EXISTING	SF	SQUARE FEET
FA	FIRE ALARM	SWBD	SWITCHBOARD
FAA	FIRE ALARM ANNUNCIATOR PANEL	TP	TAMPER PROOF
FACP	FIRE ALARM CONTROL PANEL	TV	TELEVISION
FCU-X	FAN COIL UNIT	TYP	TYPICAL
FD	FIRE DAMPER	UG	UNDERGROUND
FSD	FIRE/SMOKE DAMPER	UH-X	UNIT HEATER (ELECTRIC)
FT	FEET	V	VOLTS
G/GRND	GROUND	VA	VOLT-AMPERES
GEN	GENERATOR	VAV-X	VARIABLE AIR VOLUME UNIT
GFCI/GFI	GROUND FAULT CIRCUIT INTERRUPTER	VMD	VOLUME DAMPER (MANUAL)
GUH-X	GAS UNIT HEATER	VFD	VARIABLE FREQUENCY DRIVE
H/C	HEATING COIL	W	WATTS
HP	HORSEPOWER	W/	WITH
HP-X	HEAT PUMP	WH-X	WATER HEATER
HR	HOUR	WP	WEATHERPROOF
HZ	HERZ	XFMR	TRANSFORMER
IG	ISOLATED GROUND	XP	EXPLOSION PROOF
IN	INCHES	Z	IMPEDANCE

ARCHITECT SEAL:

**ELECTRICAL
PLAN**

SCALE @ 24" X 36"

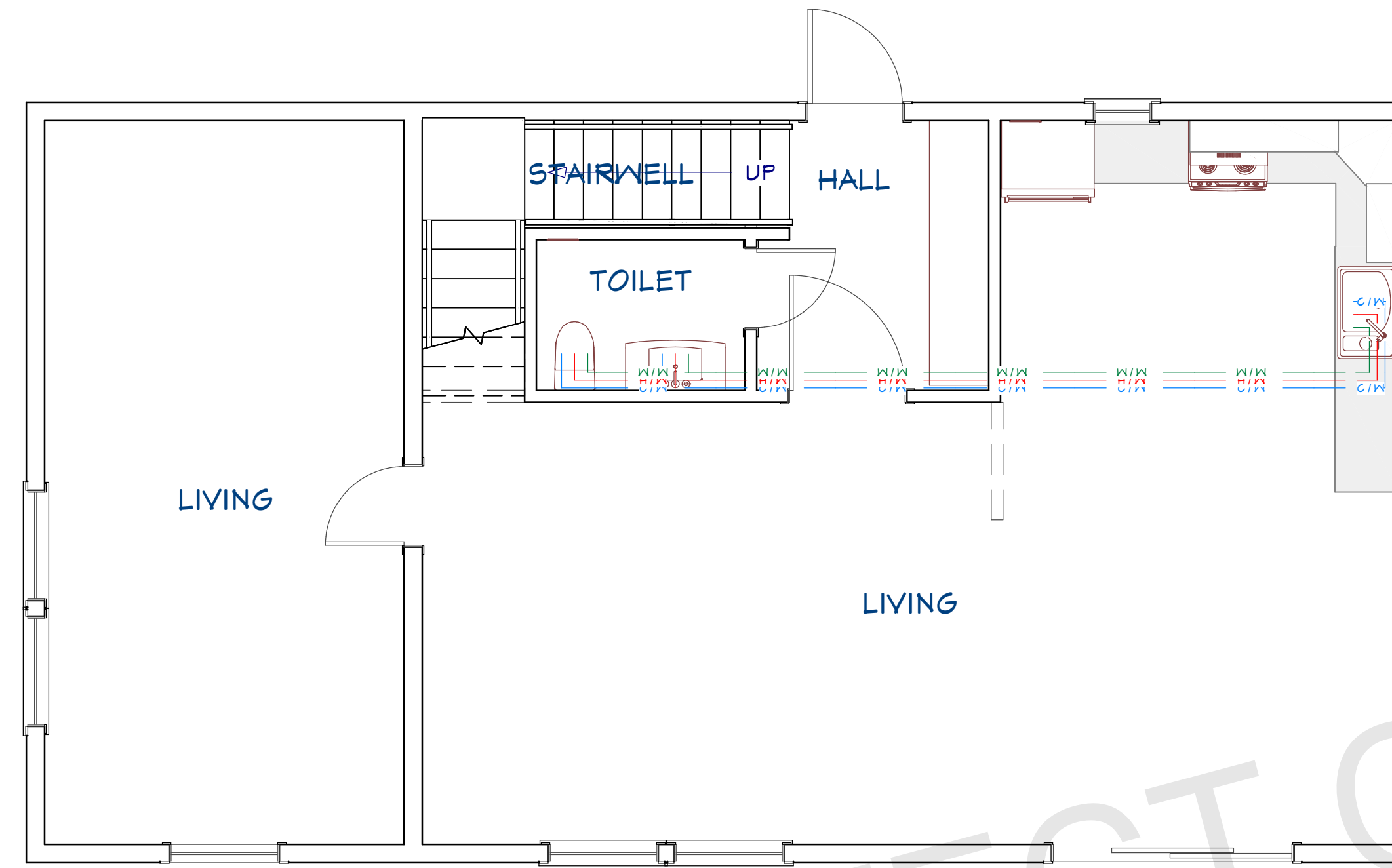
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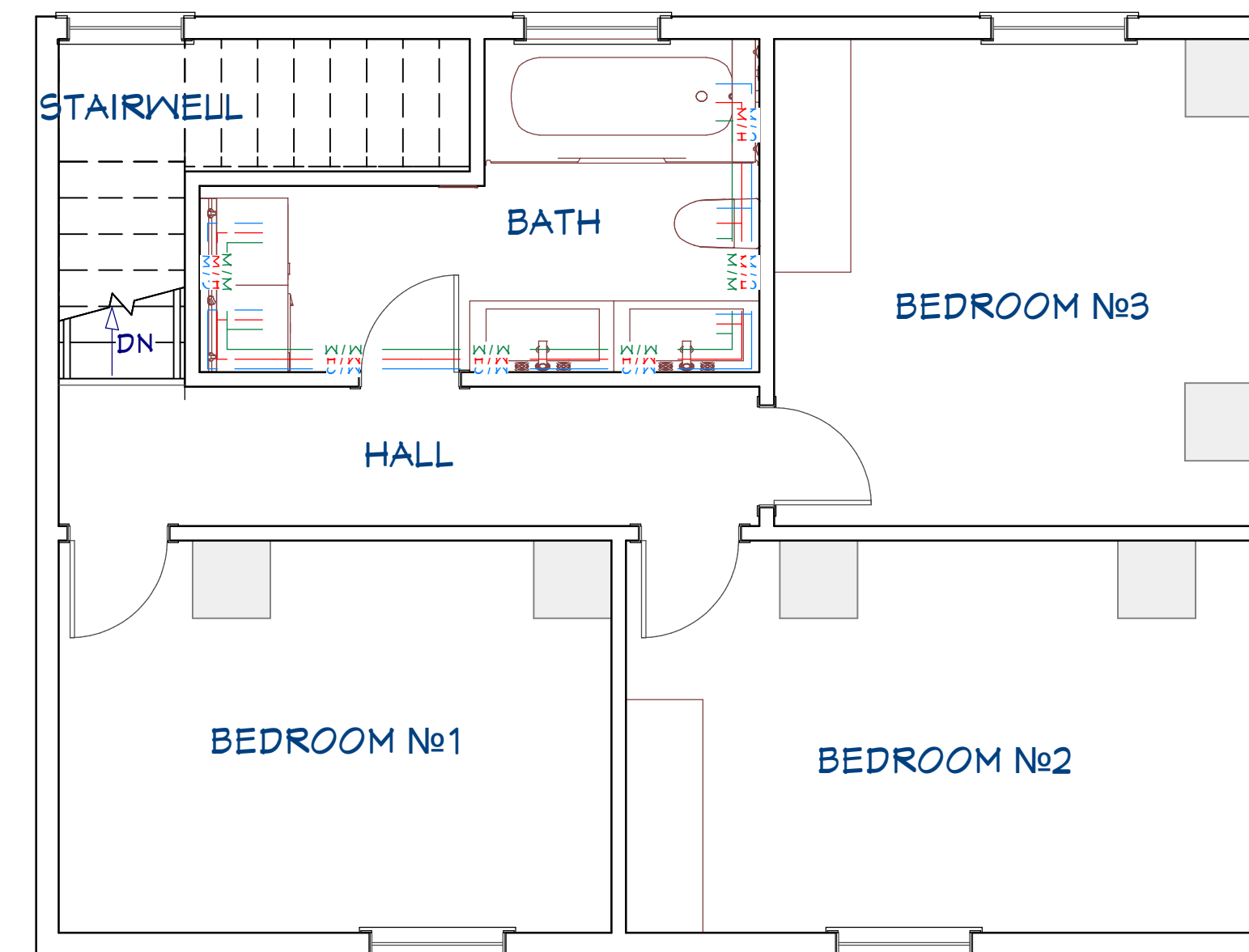
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A10



**1ST FLOOR
DOMESTIC PIPELINE PLAN**
1/4"=1'

PLUMBING LEGEND	
SYMBOL	DESCRIPTION
— HW —	HOT WATER, COPPER TYPE L, OR CPVC
— W —	COLD WATER, COPPER TYPE L, OR PVC
— SS —	WASTE, PVC, SCHEDULE 40 (DWV)
— — —	VENT, (DWV)



**2ND FLOOR
DOMESTIC PIPELINE PLAN**
1/4"=1'

ARCHITECT SEAL:

**PLUMBING
PLAN**

SCALE @ 24" X 36"

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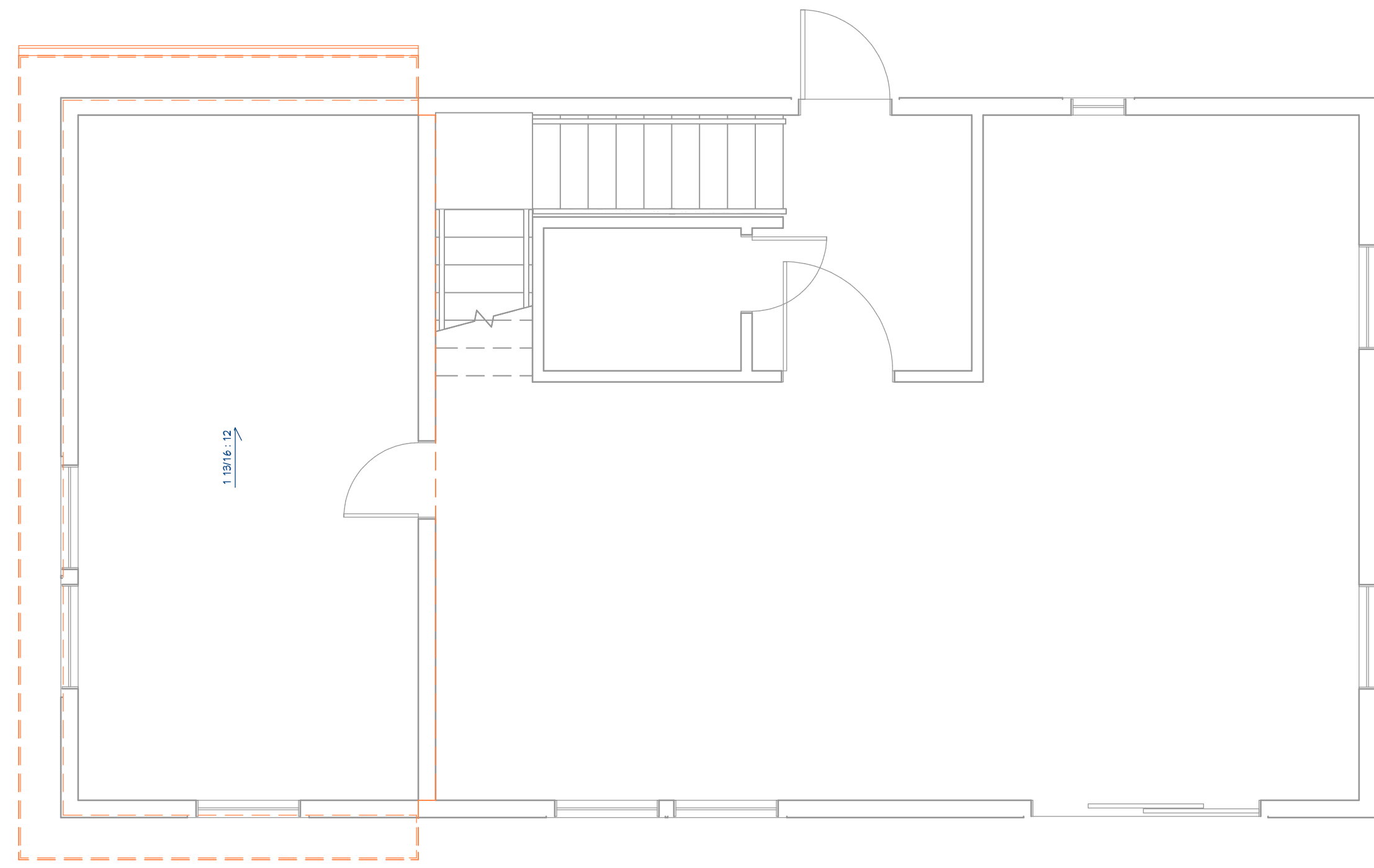
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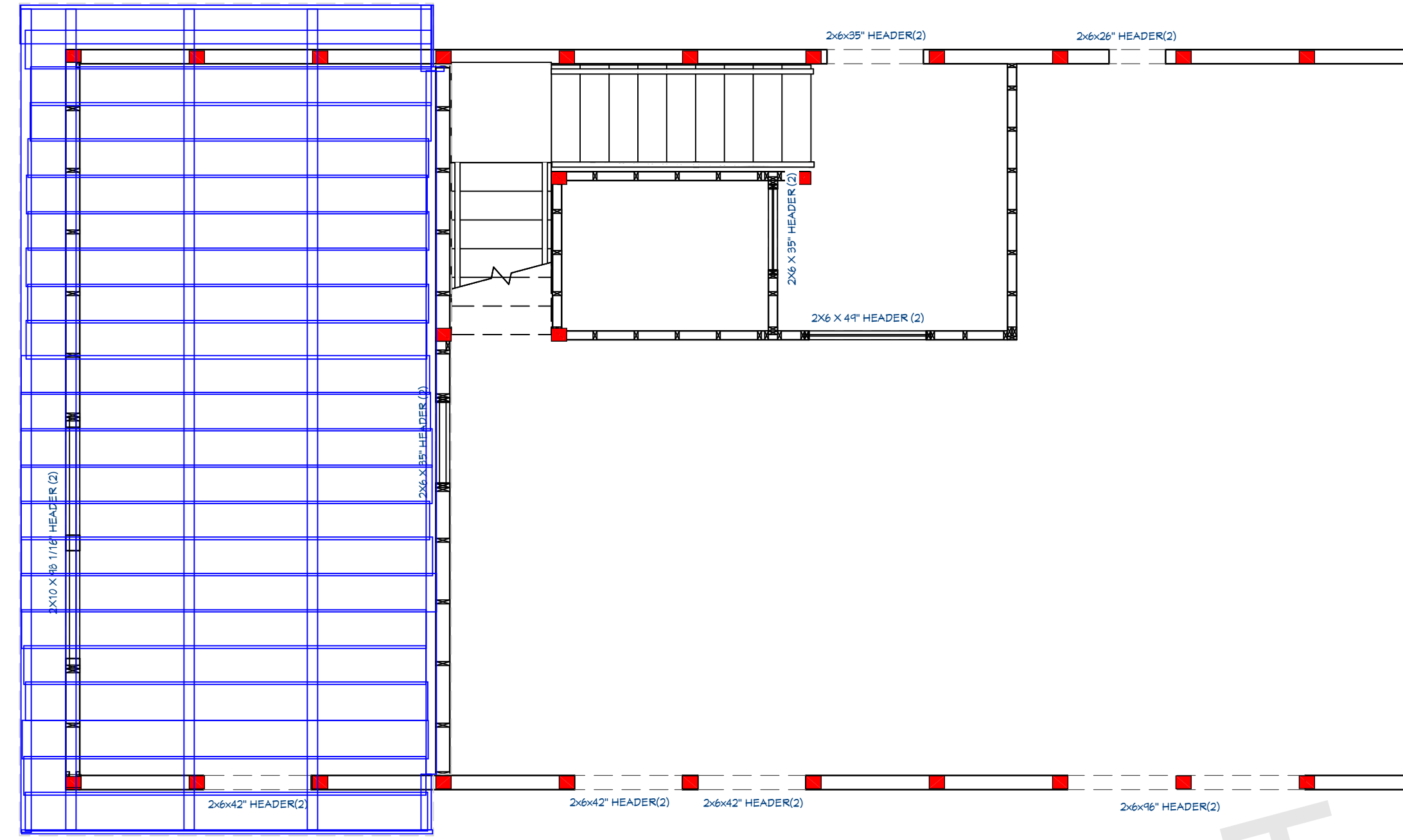


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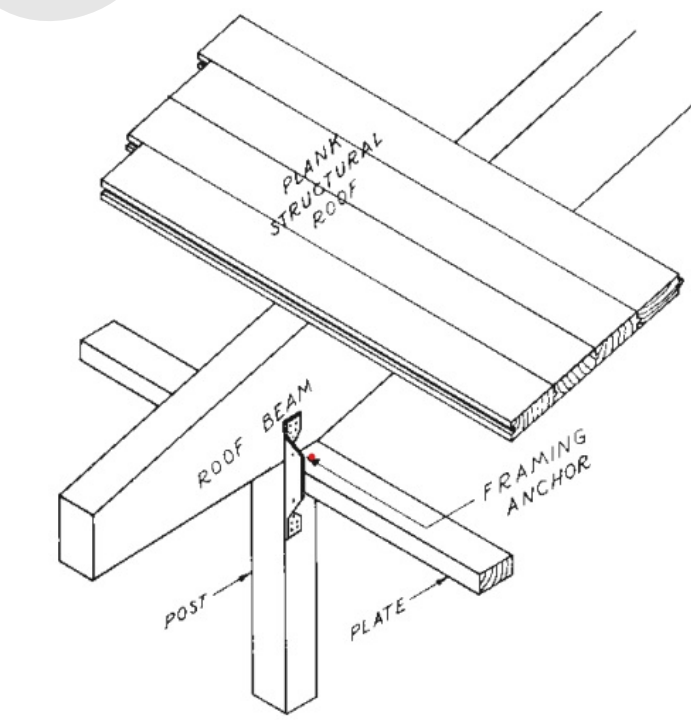
E02



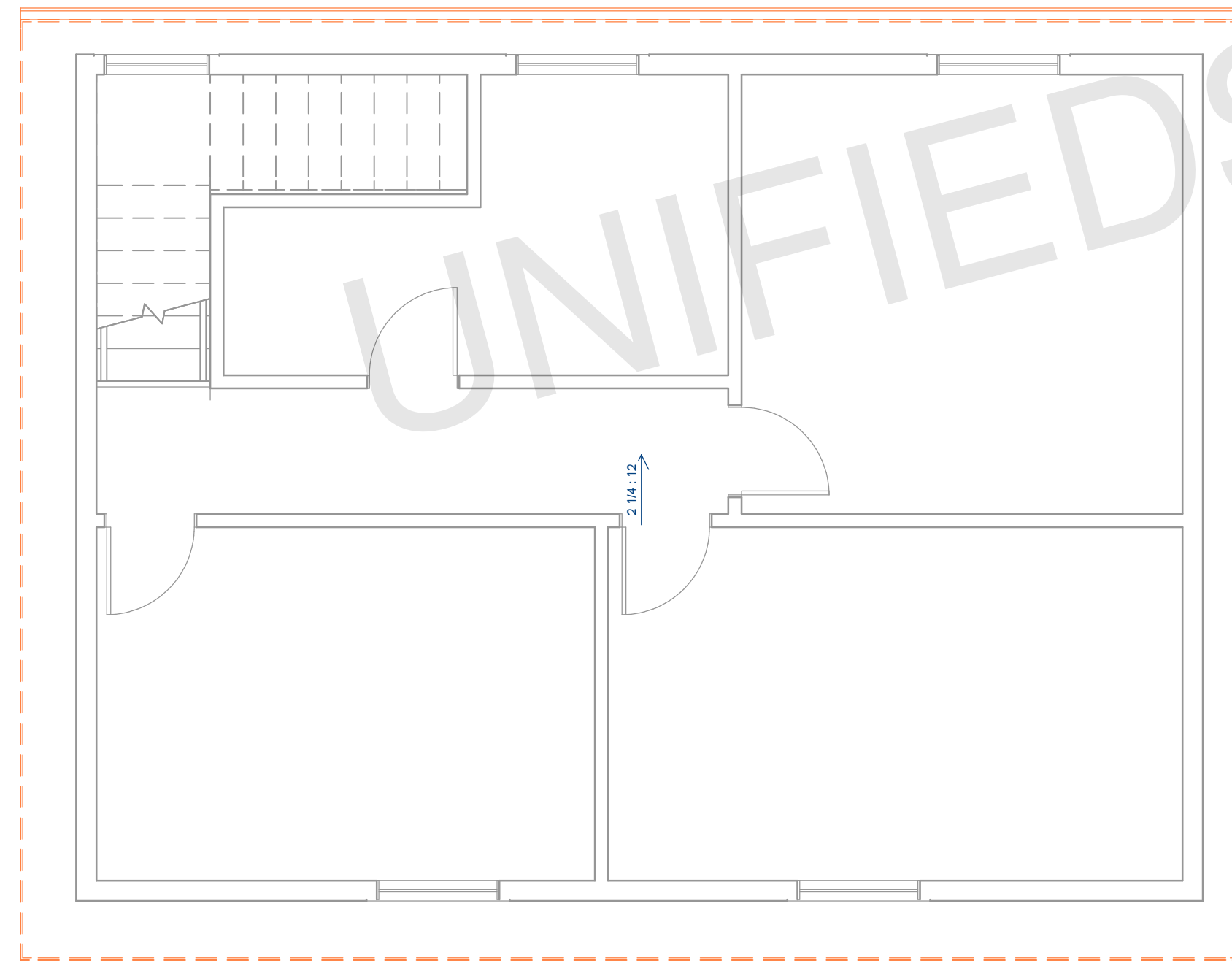
1ST FLOOR ROOF PLAN
1/4" = 1'



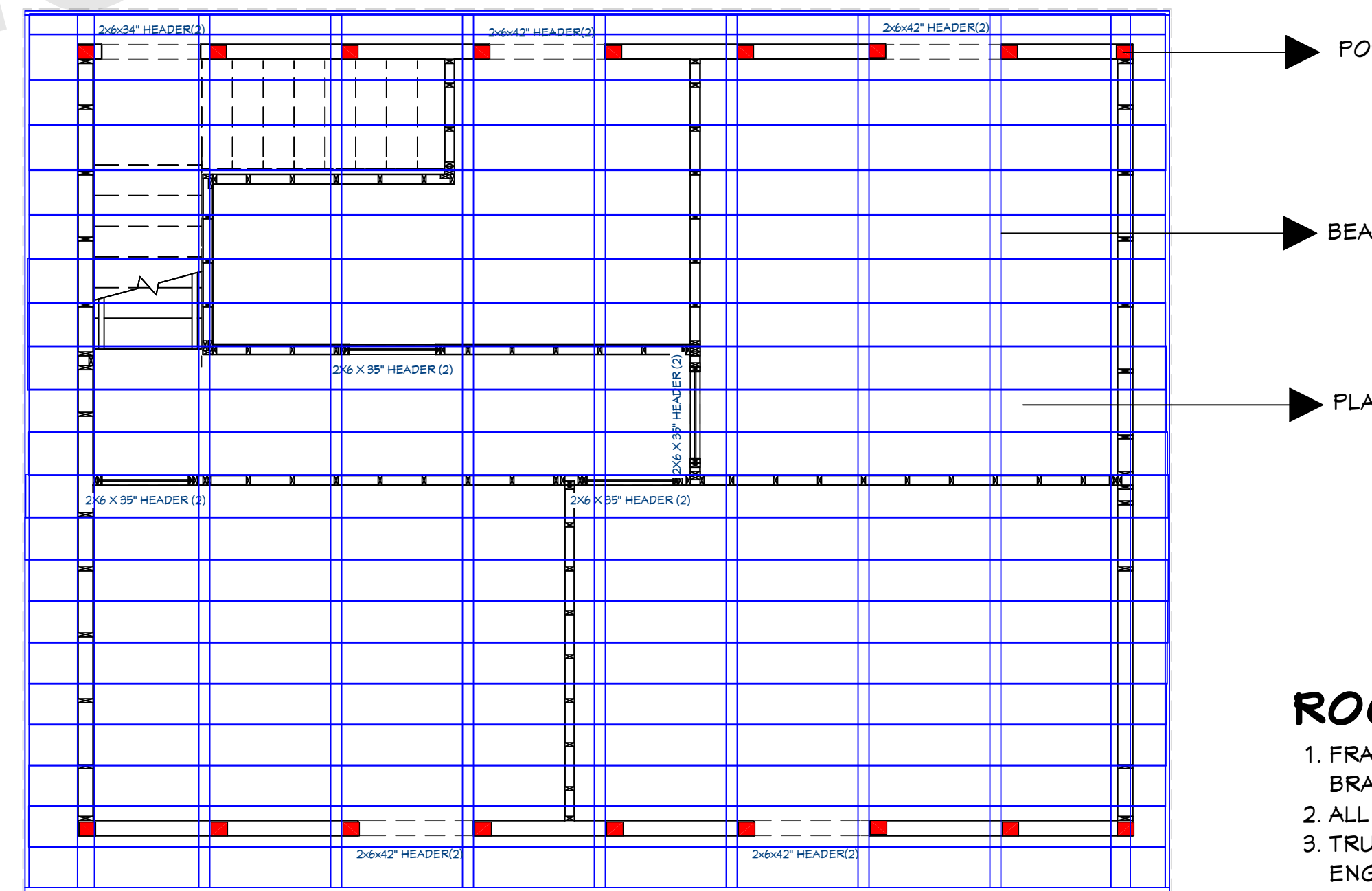
1ST FLOOR ROOF FRAMING PLAN
1/4" = 1'



ROOF EAVE DETAIL
NTS



2ND FLOOR ROOF PLAN
1/4" = 1'



2ND FLOOR ROOF FRAMING PLAN
1/4" = 1'

ROOF & FRAMING NOTES:

1. FRAMING IS FOR ILLUSTRATION ONLY. ALL FRAMING SHALL BE INSTALLED & BRACED TO MANUFACTURER'S DRAWINGS & SPECIFICATIONS
2. ALL TRUSSES OR TJI'S SHALL CARRY MANUFACTURER'S STAMP
3. TRUSSES OR TJI'S SHALL NOT BE FIELD ALTERED WITHOUT PRIOR ENGINEERING APPROVAL
4. ALL TRUSSES OR TJI'S SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION.
5. ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER
6. ROOF JOIST TO BE TJI 560 OR EQUIVALENT
7. ALL ROOF FRAMING 24" O.C. UNO
8. ALL ROOF OVERHANGS 24" UNO
9. INSTALL ICE SHIELD AS REQUIRED
10. INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.
11. MIN. SNOW LOAD SHALL BE 25 LBS PER SQUARE FOOT
12. ROOF SHEATHING 15/32" OSB OR 1/2" PLYWOOD 32/16 APA RATED W 8d @ 6" O/C ALL SUPPORTED PANEL EDGES, 12" O/C FIELD
13. ROOF TRUSS OR TJI'S MANUFACTURER: _____

ARCHITECT SEAL:

FRAMING PLAN

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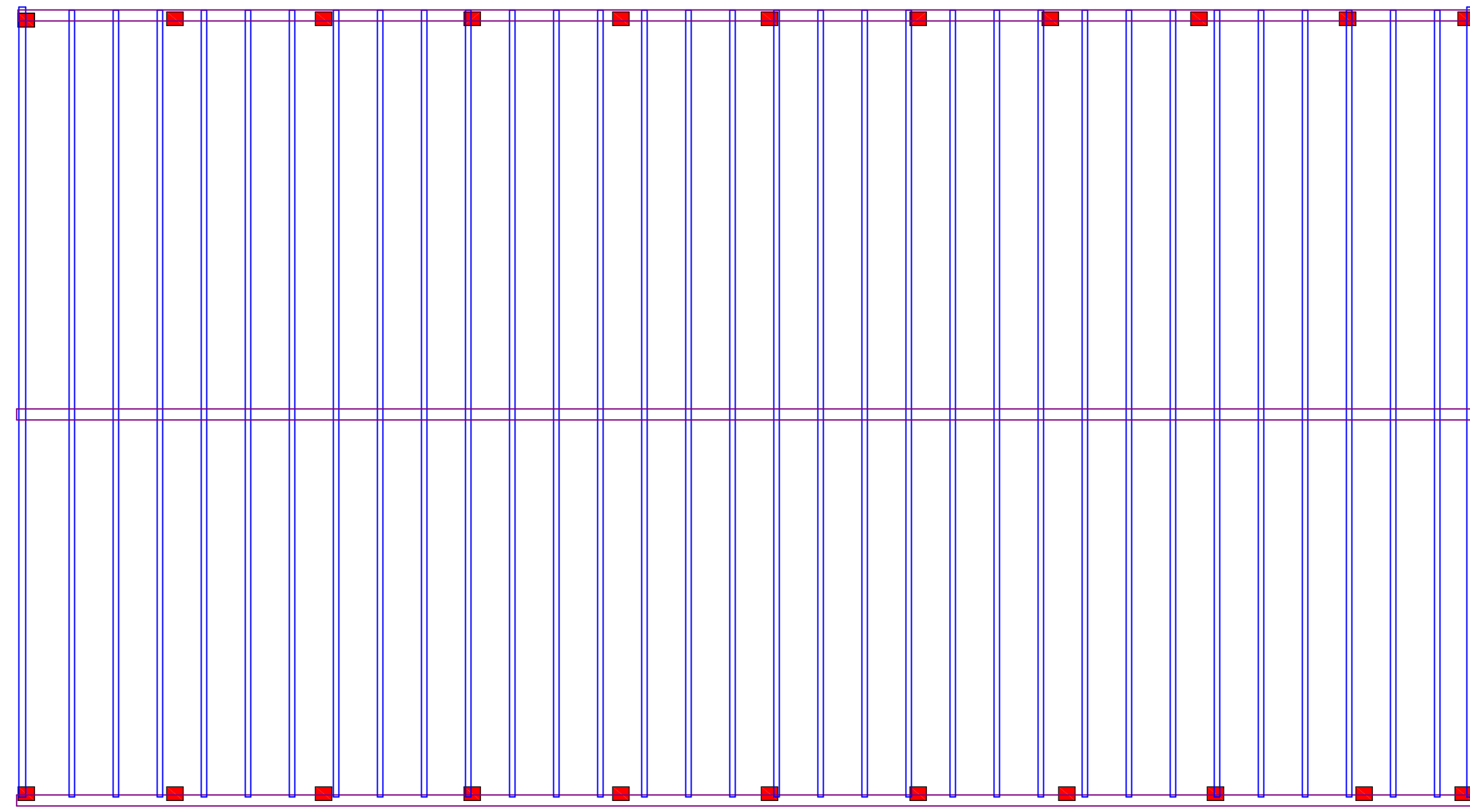
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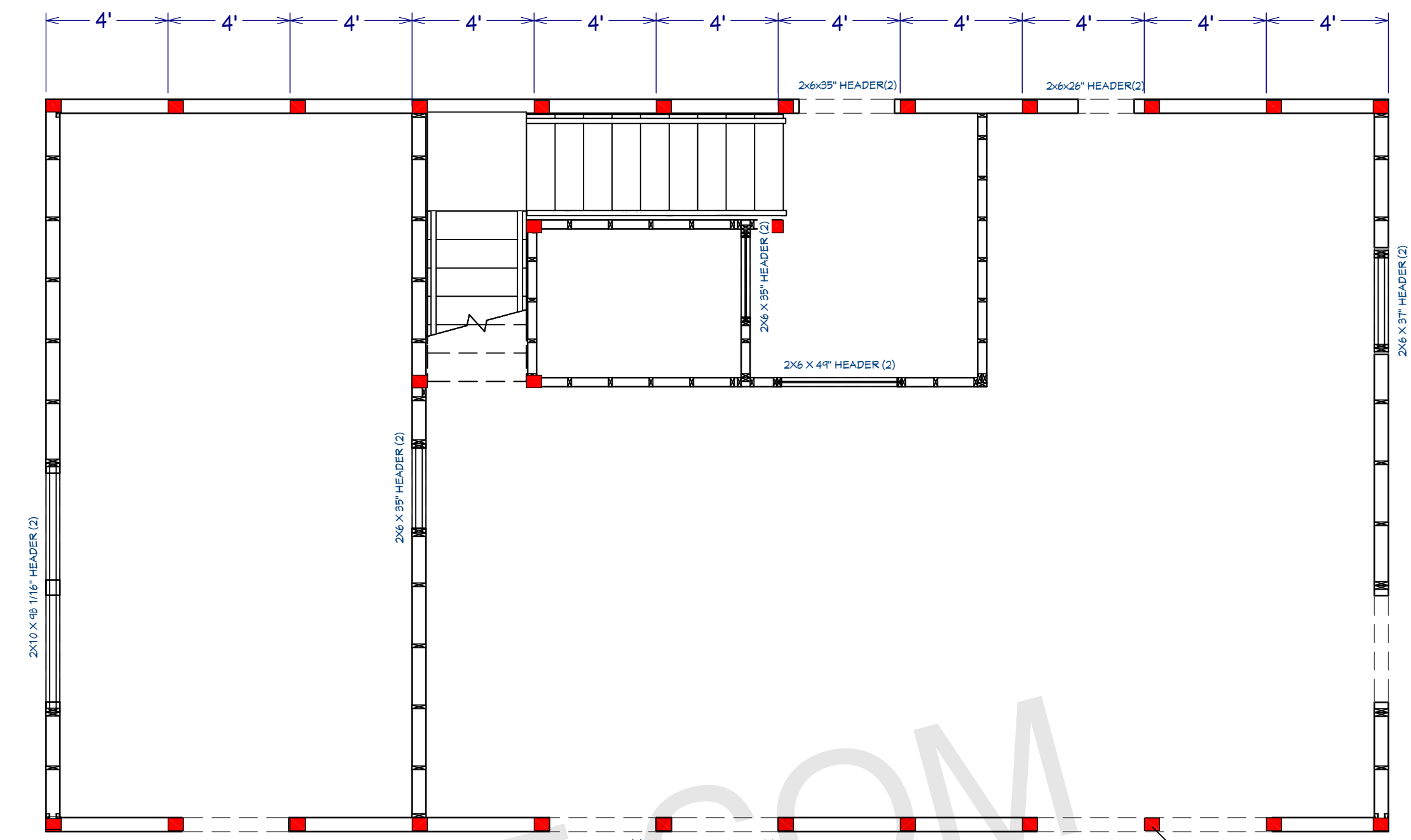


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E03

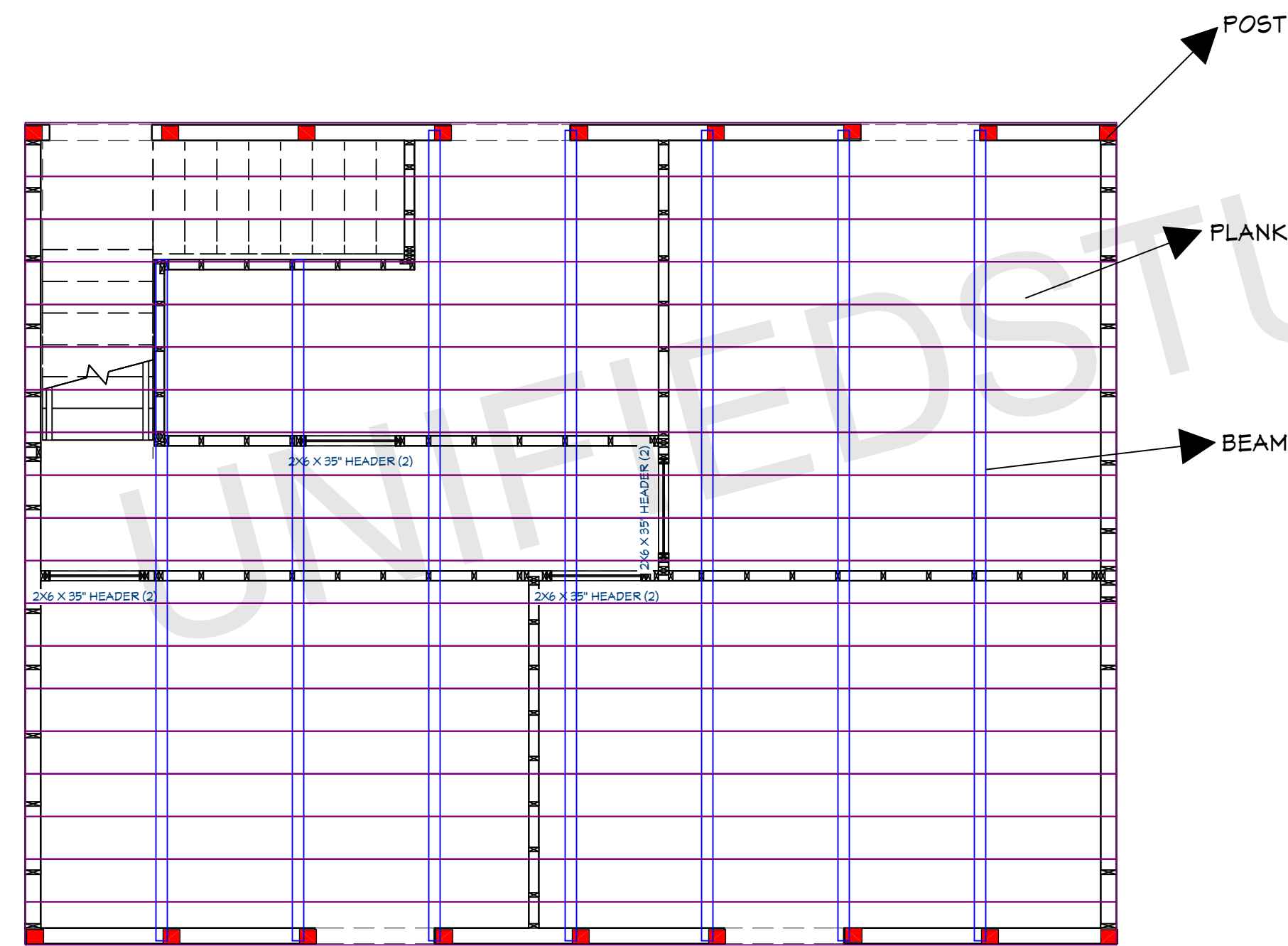


1ST FLOOR FRAMING
1/4"=1'

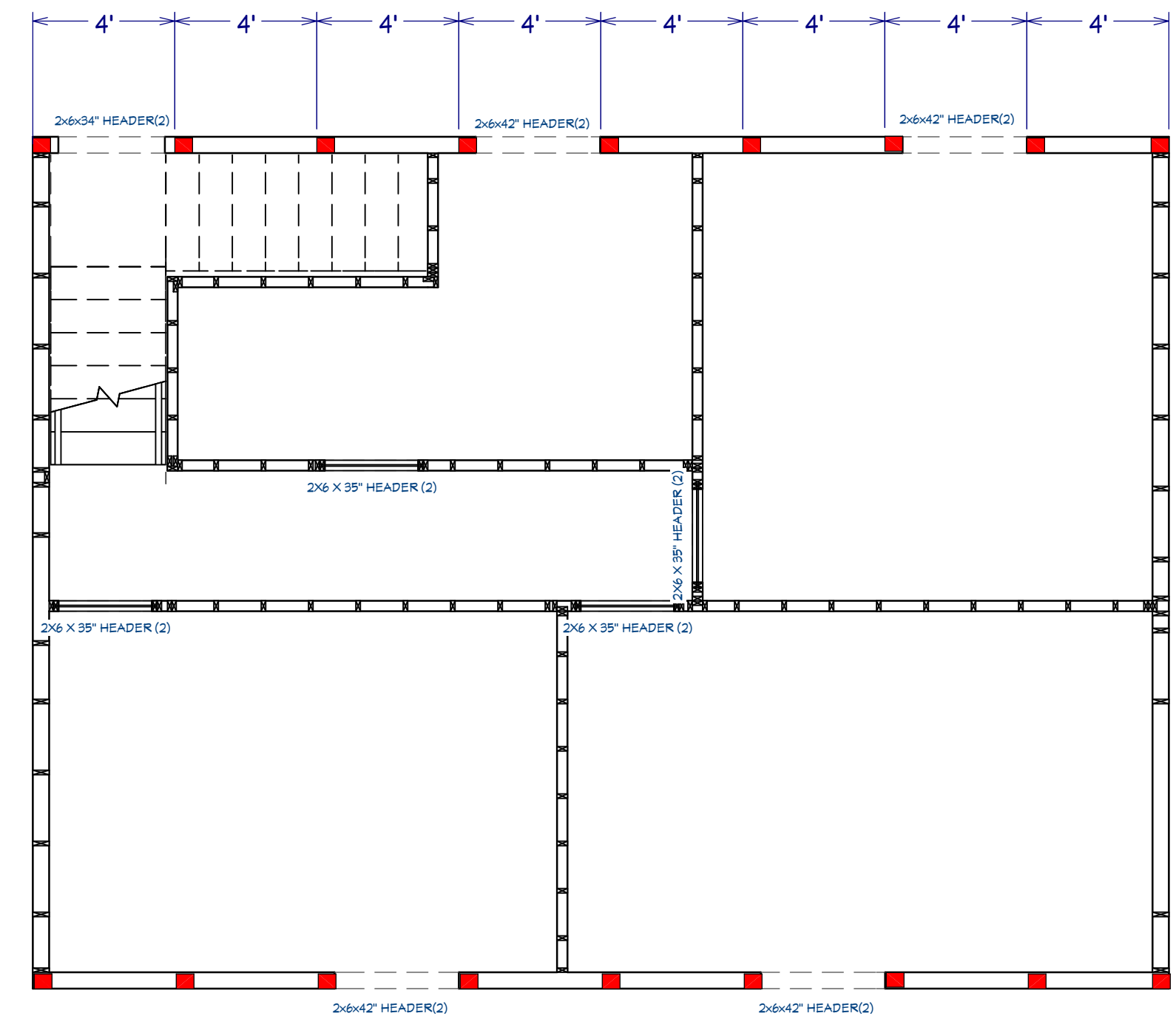
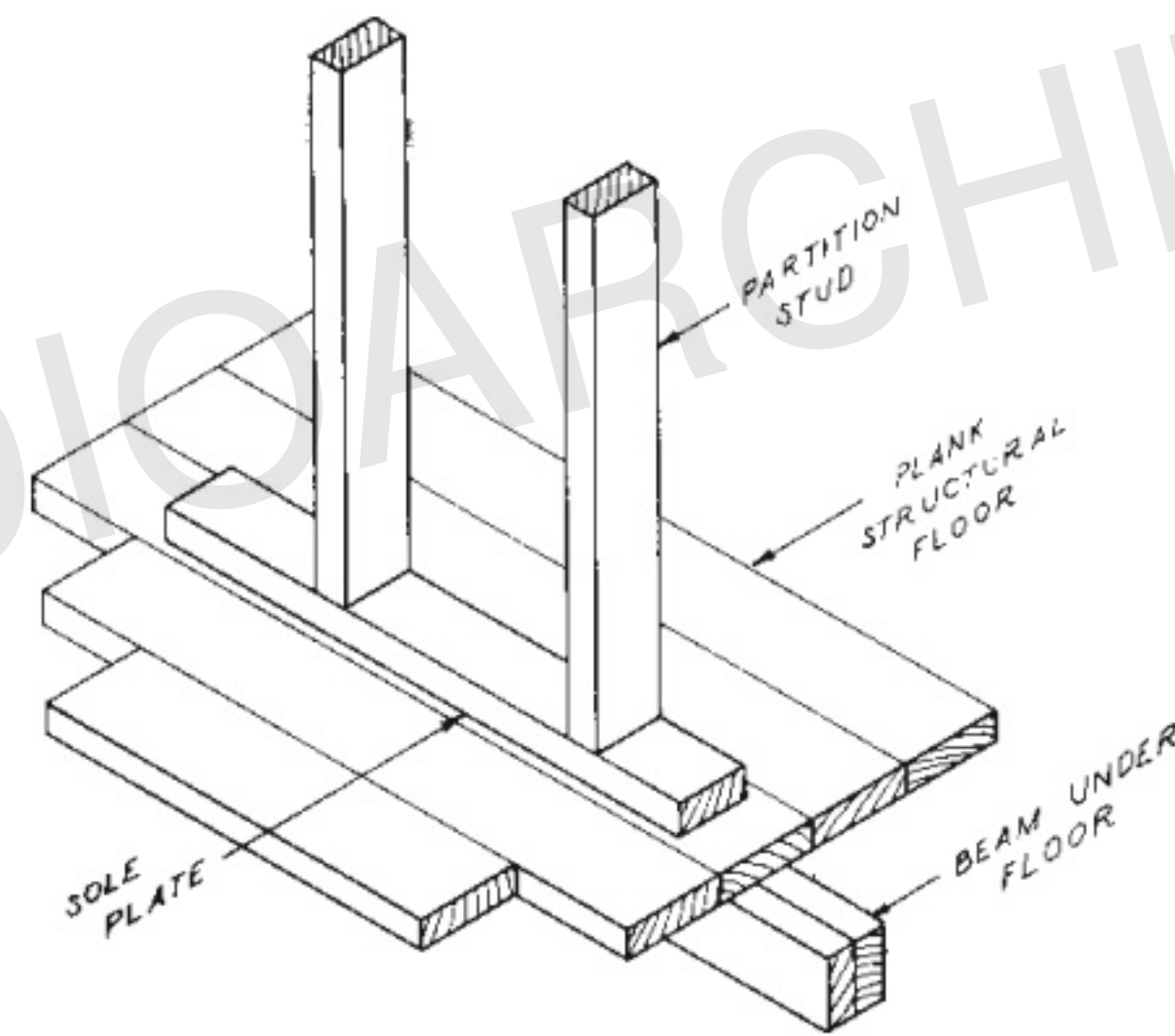


1ST FLOOR WALL FRAMING
1/4"=1'

HALF POST ABOVE THE BEAM OF SLIDING DOOR



2ND FLOOR FRAMING
1/4"=1'



2ND FLOOR WALL FRAMING
1/4"=1'

WALL FRAMING NOTES:

FRAMING & STRUCTURAL NOTES
 WINDOW ROUGH OPENING: 1/2" FOR TOP/BOTTOM & 1/2" FOR SIDES. CONFIRM WINDOW MFG. SPECS. BEFORE FRAMING
 WALL HEADERS ON EXTERIOR WALLS: (2) 2" X 10" DF 2 TYP. INSULATED w/ (1) 2x CRIPPLE & (1) 2x KING, UNO PROVIDE DOUBLE FLOOR JOISTS. UNDER ALL WALLS RUNNING PARALLEL
 PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS AS PER I.B.C. SEC. R502.12.
 PROVIDE POSITIVE CONNECTIONS AT EACH END OF ALL POSTS AND COLUMNS TO RESIST LATERAL DISPLACEMENT
 ALL LUMBER NOT SPECIFICALLY NOTED TO BE D.F. #2 OR BETTER. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED UNLESS AN APPROVED BARRIER IS PROVIDED
 SEE ROOF FRAMING FOR ADDITIONAL FRAMING NOTES

LUMBER SPECIES:
 POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF-#2
 EXPOSED CEDAR BEAMS TO BE DF-#2 OR BETTER,
 SILLS, PLATES BLOCKING, AND BRIDGING TO BE DF-#2
 ALL STUDS TO BE DF#2 OR BETTER
 SHEATHING SHALL BE AS FOLLOWS:
 WALL SHEATHING SHALL BE 1/2" INT-APA RATED OR 1/16" OSB
 FLOOR SHEATHING SHALL BE 3/4" T & G INT-APA RATED PLYWOOD

NOTE: BEAMS/BLOCK BELOW THE WALL NOT SHOWN FOR CLARITY

ARCHITECT SEAL:

FRAMING PLAN

SCALE @ 24" X 36"

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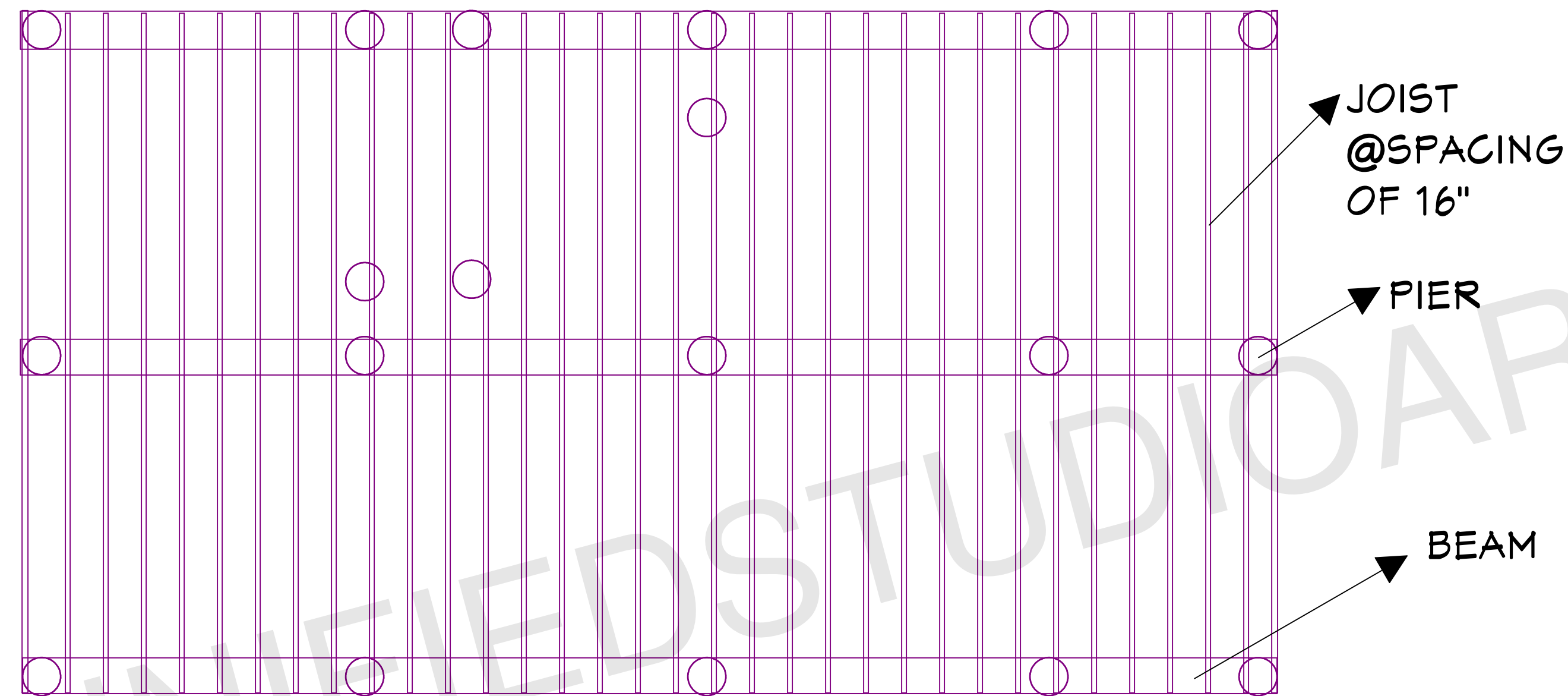
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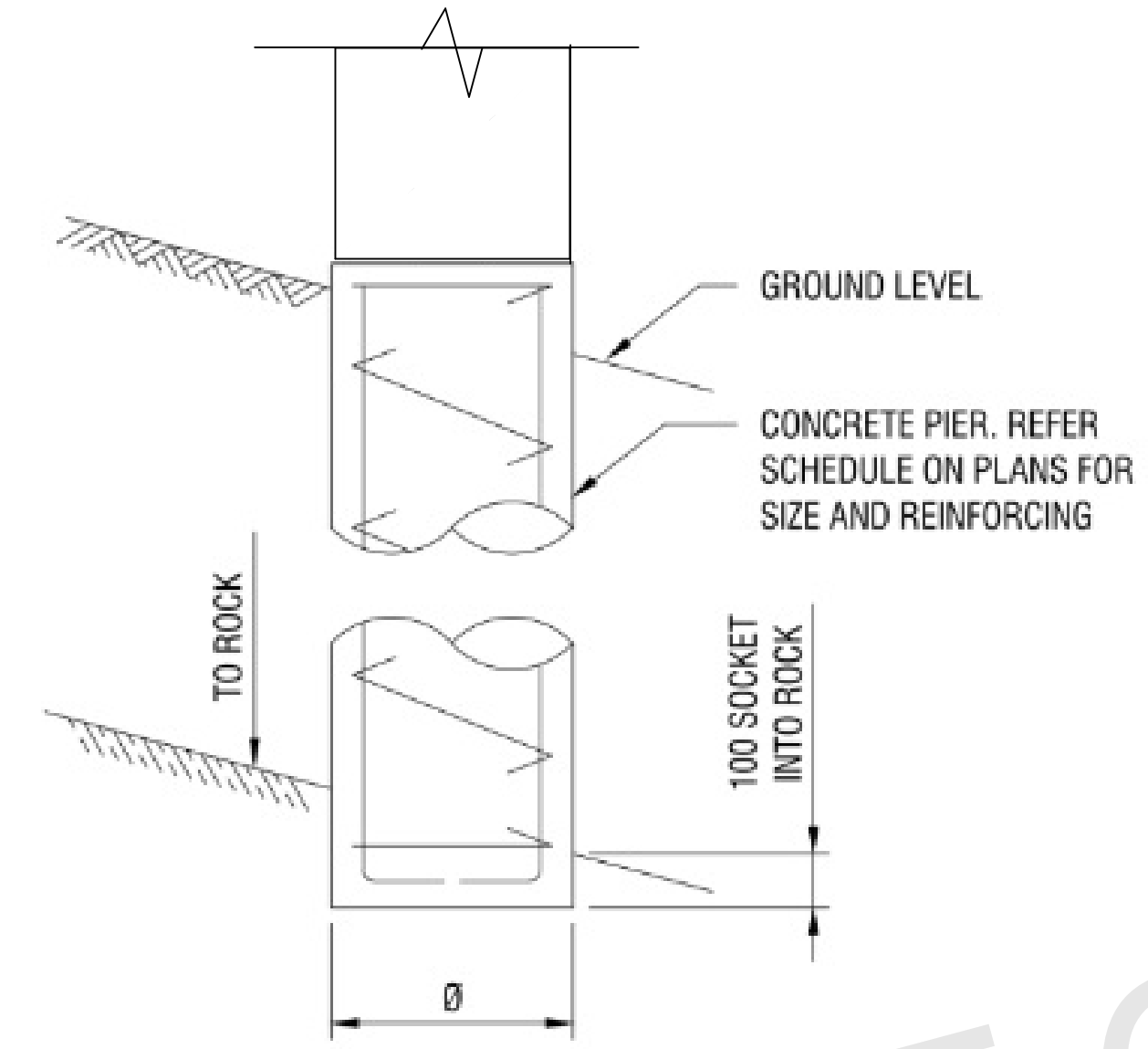


SHEET NUMBER

P02



FOUNDATION PLAN
1/4"=1'



FOUNDATION NOTES

1. FOUNDATIONS TO BEAR A MINIMUM OF 24" BELOW FINISH GRADE
2. ALL ANCHOR BOLTS TO BE 5/8" DIA X 10 @ 32" O/C UNO. SEE SHEAR PLANS FOR HOLD DOWN DETAILS
3. ALL REINFORCING STEEL SHALL BE ASTM A-615, GRADE 60
4. ALL REINFORCING STEEL TO OVERLAP A MINIMUM OF 24" FOR SPLICES FOR #4 BARS & 36" FOR #5 BARS
5. PROVIDE CORNER BARS TO MATCH CONTINUOUS STEEL
6. MINIMUM ALLOWABLE CONCRETE COMPRESSIVE STRENGTH SHALL BE 3,000 PSI (DESIGNED AS 2,500 PSI) AT 28 DAYS. MAXIMUM AGGREGATE SIZE IS 1". MAXIMUM AIR ENTRAINMENT IS 3%. CEMENT SHOULD BE TYPE 1 OR 2
7. SOIL BEARING CAPACITY ASSUMED TO BE 2,000 PSF. IF SOIL CONDITIONS VARY FROM THIS, THE PROJECT ENGINEER MUST BE NOTIFIED. ALL FOOTINGS MUST BEAR ON UNDISTURBED SOIL. ALL SLOPES MUST BE STABILIZED
8. ADJACENT GROUND SURFACES SHALL BE SLOPED AWAY FROM STRUCTURE DRAINAGE OF SURROUNDING AREA SHALL ALSO BE PROVIDED TO PREVENT ACCUMULATION OF SOIL AND EROSION OF SOIL NEAR FOOTINGS
9. UNIFORM SOIL CONDITIONS, MUST BE PROVIDED UNDER SLAB AND FOOTINGS. CUT/FILL OR NON-UNIFORM SOIL CONDITIONS SHOULD BE EXCAVATED AND REPLACED W/ UNIFORM ENGINEERED FILL MATERIAL TO MINIMIZE DIFFERENTIAL MOVEMENT
10. THE TOPS OF FOUNDATION WALLS SHALL EXTEND 6" ABOVE THE ADJACENT FINISH GRADE
11. MINIMUM 18" CLEARANCE FOR WOOD JOIST GIRDERS REQUIRED IN THE GARAGE CRAWL SPACE UNLESS TREATED WOOD IS USED THROUGHOUT FLOOR SYSTEM

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