

ADDITION OF ONE CAR GARAGE WITH ATTACHED CARPORT

664 CENTER ST, WALNUT CREEK, CA 94595, USA

PROJECT DATA:

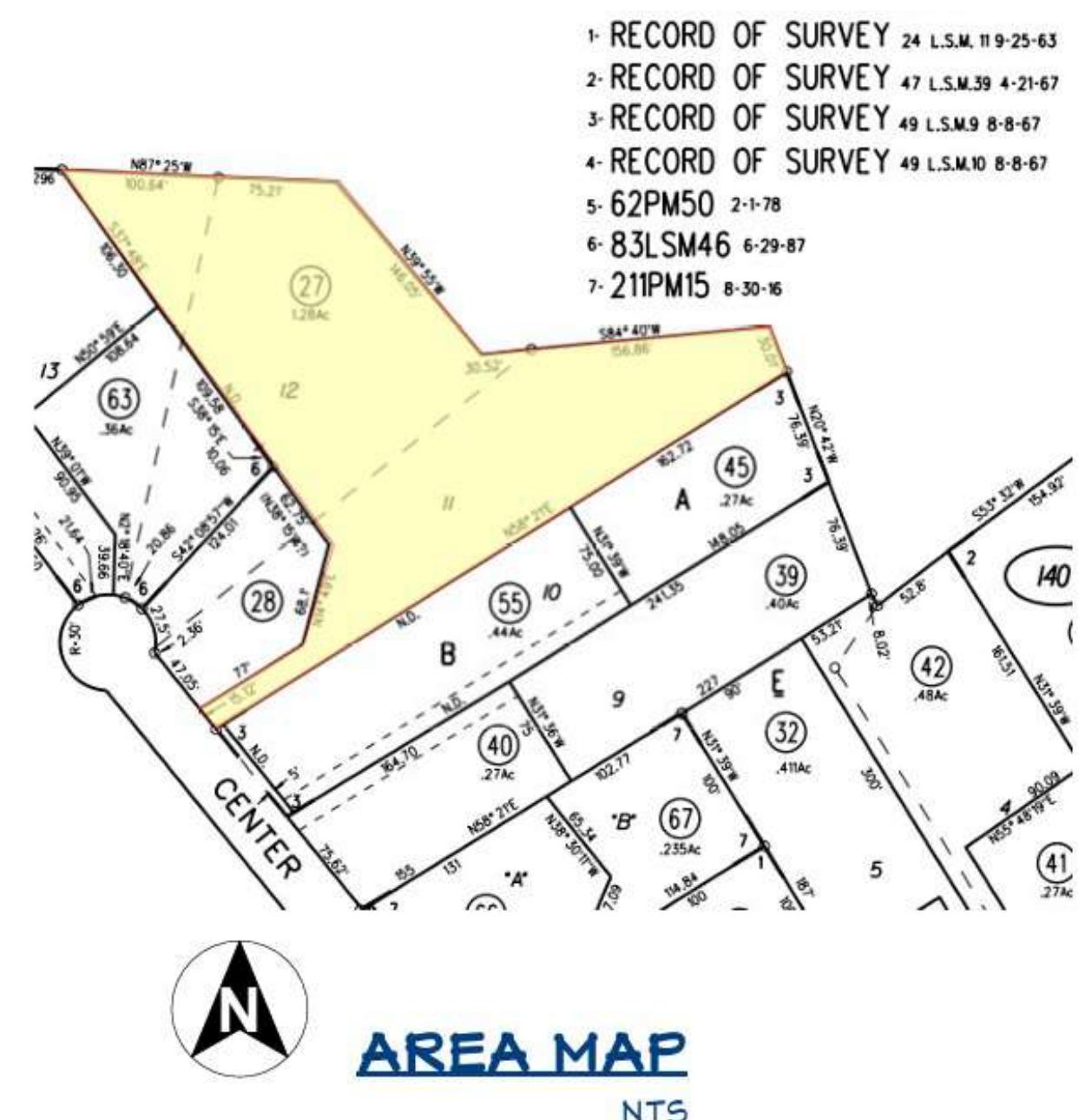
OWNER: TIM & SADIE GREGORY
PHONE: (925) 457-5580
ADDRESS: 664 CENTER STREET, WALNUT CREEK, CA 94595
ASSESSOR'S PARCEL #: 184-140-027
RESIDENTIAL TYPE: SINGLE FAMILY 2 OR MORE RESIDENCES ON 1 OR MORE SITE
TOTAL LOT AREA: 63,280 SQFT
NEW GARAGE SQUARE FOOTAGE (AREA): 328 SQFT

PROJECT SCOPE:

BUILD A NEW STAND ALONE GARAGE WITH ONE CARPORT

BUILDING CODES:

2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS including all county amendments.



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SHEET TITLE: **COVER SHEET**

A PROJECT FOR...
CENTER GREGORY
664 CENTER ST, WALNUT CREEK,
CA 94595, USA

DRAWINGS PROVIDED BY:
CERLETTI & KENNEDY
2950 BUSKIRK AVE., #300, WALNUT CREEK
CA 94597 T 707.655.0411 - F 707.561.6487

REV:

DATE:

2026-01-27

SHEET:

G01

GENERAL NOTES:

1 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL CLEAR DIMENSIONS ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF THE ARCHITECT. WHEN SHOWN IN PLAN, ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE, CENTERLINE OF COLUMNS, OR CENTERLINE OF WALL ASSEMBLIES, UNLESS OTHERWISE NOTED. WHEN SHOWN IN SECTION OR ELEVATION, ALL DIMENSIONS ARE TO TOP OF PLATE, TOP OF CONCRETE, OR TOP OF CEMENT-BASED UNDERLAYMENT UNLESS OTHERWISE NOTED. DIMENSIONS TO EXISTING ELEMENTS ARE TO FACE OF FINISH AT TIME EXISTING CONDITIONS ARE DOCUMENTED.

2 ARCHITECTURAL SERVICE AGREEMENT IS ONLY FOR DRAWINGS REQUIRED FOR PERMIT & APPROVAL. EXTENSIVE DRAWINGS & SPECIFICATIONS ARE NOT PART OF THIS AGREEMENT. COORDINATION, CODE COMPLIANCE, CONSTRUCTION DETAILING, & MECHANICAL, ELECTRICAL, & PLUMBING DESIGN IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR OTHER CONSULTANTS. THE PROFESSIONAL SERVICES OF THE ARCHITECT DO NOT EXTEND TO OR INCLUDE THE REVIEW OR OBSERVATION OF THE CONTRACTOR'S WORK OR PERFORMANCE.

3 CIVIL/ SITE ENGINEERING PERFORMED BY OTHERS. REFER TO THOSE DOCUMENTS FOR SITE RELATED ITEMS, INCLUDING BUT NOT LIMITED TO GRADING, WALKS AND STOOPS, ADA ACCESS, ZONING CRITERIA, FINISH FLOOR ELEVATION, ETC.

4 DETAILS SHOWN ARE TYPICAL; SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.

5 PROVIDE AND INSTALL 2X FLAT WOOD BLOCKING OR 16 GA METAL STRAPPING FOR ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.

6 ALL CHANGES IN FLOOR MATERIALS OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENINGS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.

7 INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND THE REQUIREMENTS OF THE CODES. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, AND MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY. IF MANUFACTURER'S RECOMMENDATIONS & CODE REQUIREMENTS CONTRADICT THE CONTRACT DOCUMENTS, CONTRACTOR SHALL NOTIFY THE ARCHITECT, IN WRITING IMMEDIATELY, TO RESOLVE DISCREPANCIES PRIOR TO PROCEEDING.

8 THE FINISHED WORK SHALL BE FIRM, WELL ANCHORED, IN TRUE ALIGNMENT, PLUMB, LEVEL, WITH SMOOTH, CLEAN, UNIFORM APPEARANCE WITHOUT WAVES, DISTORTIONS, HOLES, MARKS, CRACKS, STAINS, OR DISCOLORATION. JOINTING SHALL BE TIGHT FITTING, NEAT AND WELL SCRIBED. THE FINISH WORK SHALL NOT HAVE EXPOSED UNSIGHTLY ANCHORS OR FASTENERS AND SHALL NOT PRESENT HAZARDOUS, UNSAFE CORNERS. ALL WORK SHALL HAVE THE PROVISION FOR EXPANSION, CONTRACTION, AND SHRINKAGE AS NECESSARY TO PREVENT CRACKS, BUCKLING AND WARPING DUE TO TEMPERATURE AND HUMIDITY CONDITIONS.

9 ATTACHMENTS, CONNECTIONS, OR FASTENINGS OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH BEST PRACTICE AND THE CONTRACTOR IS RESPONSIBLE FOR IMPROVING THEM ACCORDING TO THESE CONDITIONS. THE DRAWINGS SHOW ONLY SPECIAL CONDITIONS TO ASSIST THE CONTRACTOR; THEY DO NOT ILLUSTRATE EVERY SUCH CONDITION AND DETAIL.

10 PROVIDE FIRE-BLOCKING & DRAFTSTOPPING AT ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL) AS REQUIRED PER APPLICABLE CODES.

11 MECHANICAL, PLUMBING, ELECTRICAL, AND OTHER PENETRATIONS OF FLOORS, WALLS, AND CEILINGS SHALL BE SEALED AIRTIGHT WITH ACOUSTICAL SEALANT AND FIRESAFING AS REQUIRED.

12 ALL EXTERIOR DOORS AND WINDOWS ARE TO BE WEATHERSTRIPPED.

13 DISCREPANCIES: WHERE A CONFLICT IN REQUIREMENTS OCCURS BETWEEN THE SPECIFICATIONS AND DRAWINGS, OR ON THE DRAWINGS, AND A RESOLUTION IS NOT OBTAINED FROM THE ARCHITECT BEFORE THE BIDDING DATE, THE MORE STRINGENT ALTERNATE WILL BECOME THE CONTRACTUAL REQUIREMENTS.

14 ANY CHANGE OR FIELD ALTERATION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION.

15 THE FINISHED WORK SHALL BE FIRM, WELL ANCHORED, IN TRUE ALIGNMENT, PLUMB, LEVEL, WITH SMOOTH, CLEAN, UNIFORM APPEARANCE WITHOUT WAVES, DISTORTIONS, HOLES, MARKS, CRACKS, STAINS, OR DISCOLORATION. JOINTING SHALL BE TIGHT FITTING, NEAT AND WELL SCRIBED. THE FINISH WORK SHALL NOT HAVE EXPOSED UNSIGHTLY ANCHORS OR FASTENERS AND SHALL NOT PRESENT HAZARDOUS, UNSAFE CORNERS. ALL WORK SHALL HAVE THE PROVISION FOR EXPANSION, CONTRACTION, AND SHRINKAGE AS NECESSARY TO PREVENT CRACKS, BUCKLING AND WARPING DUE TO TEMPERATURE AND HUMIDITY CONDITIONS.

16 CUT AND FIN COMPONENTS FOR ALTERATION OF EXISTING WORK AND INSTALLATION OF NEW WORK. PATCH DISTURBED AREAS TO MATCH ADJACENT MATERIALS AND FINISHES.

17 PATCH AND REPAIR ALL FIREPROOFING DAMAGED OR REMOVED DURING PERFORMANCE OF THE WORK. FIREPROOF NEW PENETRATIONS REQUIRED BY THE WORK AND EXISTING PENETRATIONS IN EXPOSED PLENUM AREAS.

18 MAKE ALL NECESSARY PROVISIONS FOR ITEMS TO BE FURNISHED OR INSTALLED BY OWNER. PROVIDE PROTECTION FOR THESE PROVISIONS UNTIL COMPLETION OF THE PROJECT. GENERAL CONTRACTOR TO COORDINATE N.I.C. ITEMS WITH APPROPRIATE TRADES

19 ALL WORK SHALL BE PERFORMED BY LICENSED & INSURED CONTRACTORS. CONTRACTOR & ALL SUBCONTRACTORS MUST SUPPLY PROOF OF INSURANCE, LIABILITY, & WORKMAN'S COMPENSATION

SHEET TITLE:
GENERAL NOTES

A PROJECT FOR:
CENTER GREGORY
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DRAWINGS PROVIDED BY:
CERLETTI & KENNEDY
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REV:
DATE:
2026-01-27
SHEET:

G02

NUMBER	DATE	BY	DESCRIPTION	REVISION HISTORY



NOTES:

THE NEW GARAGE AND THE CARPORT DRIVEWAY IS OF GRAVEL



PROPOSED GARAGE



GRAVEL DRIVEWAY

SHEET TITLE: SITE PLAN

A PROJECT FOR...
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664 CENTER ST, WALNUT CRE
CA 94595, USA

**DRAWINGS PROVIDED BY:
ERLETTI & KENNEDY**

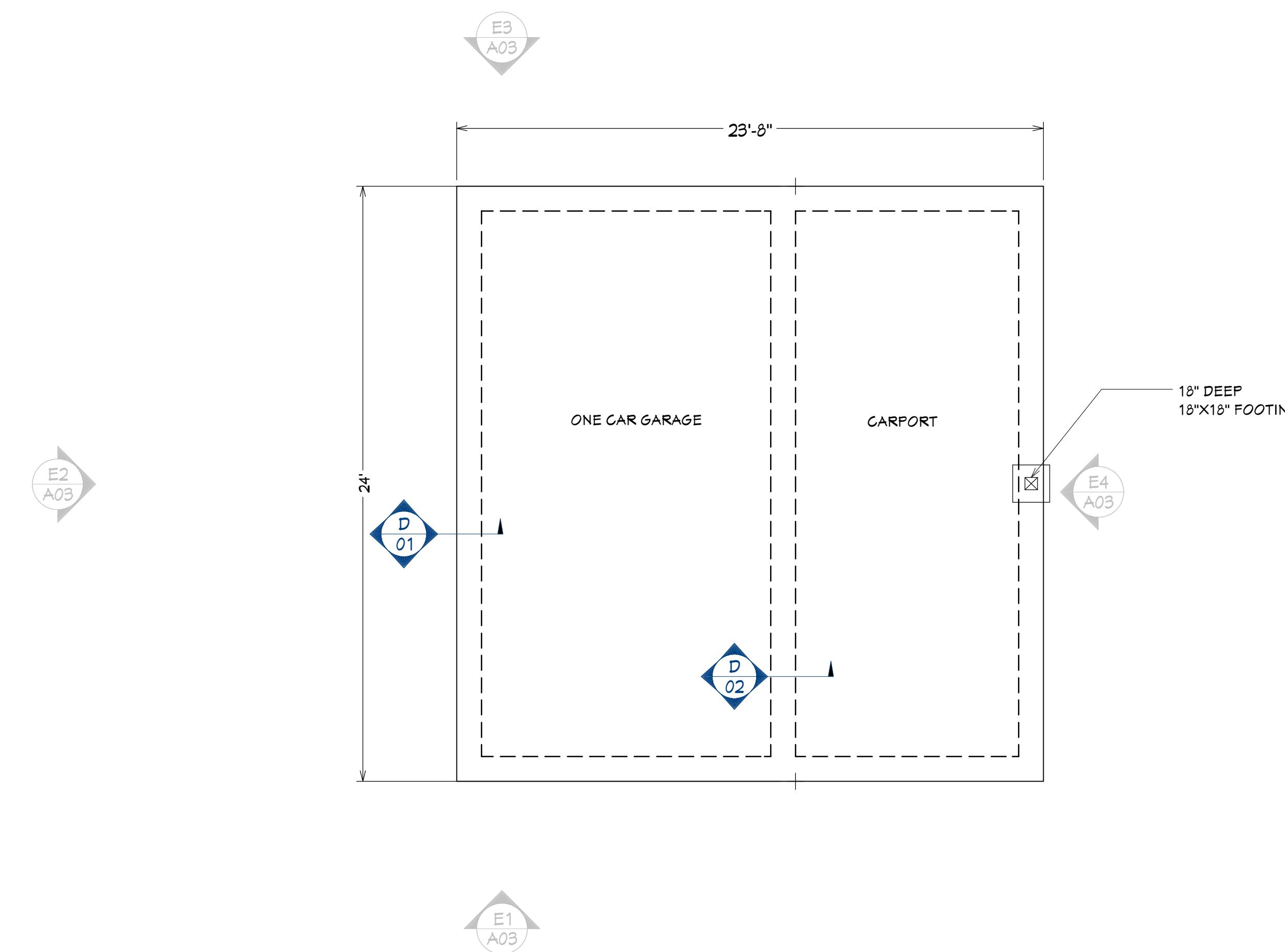
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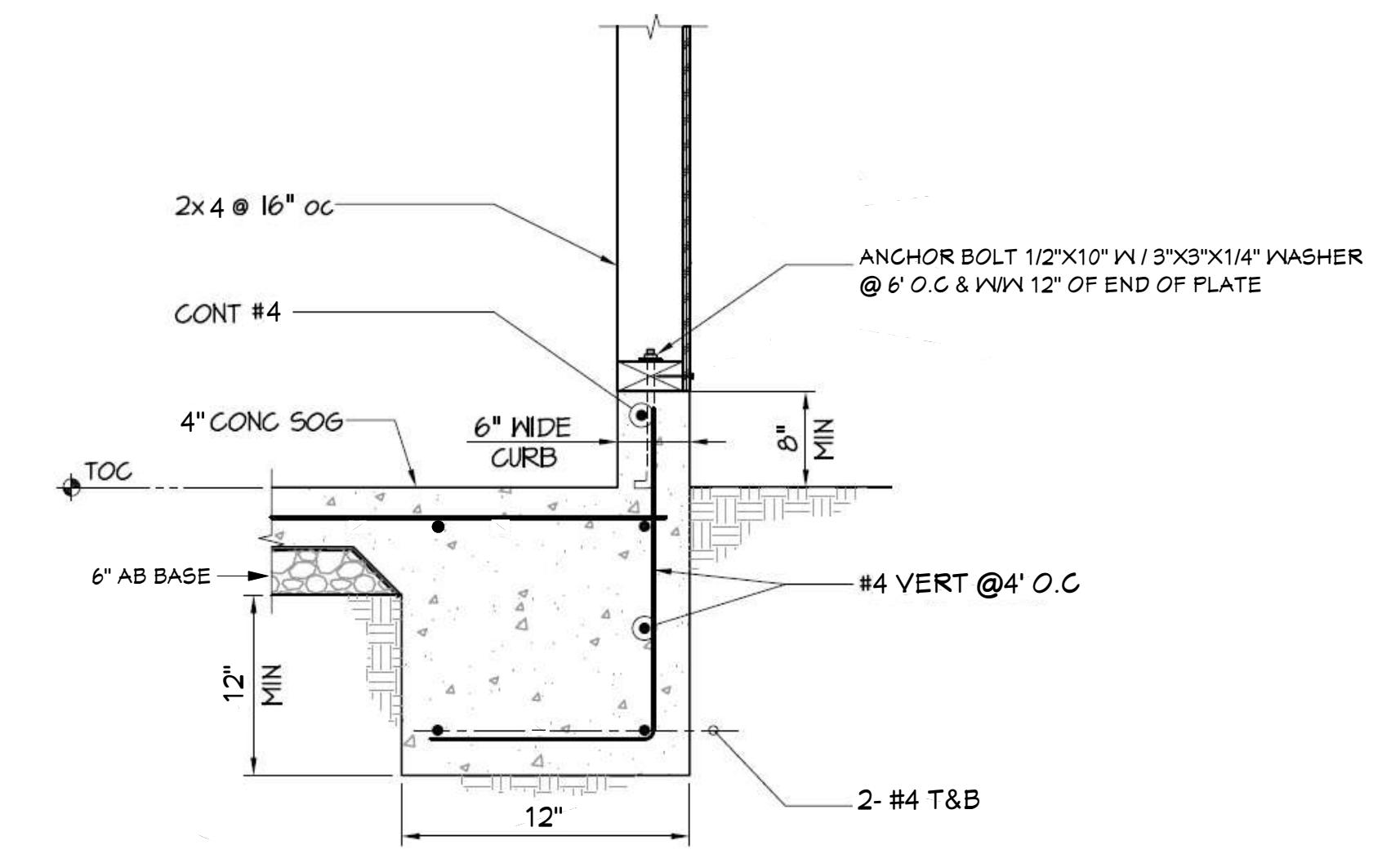
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G03

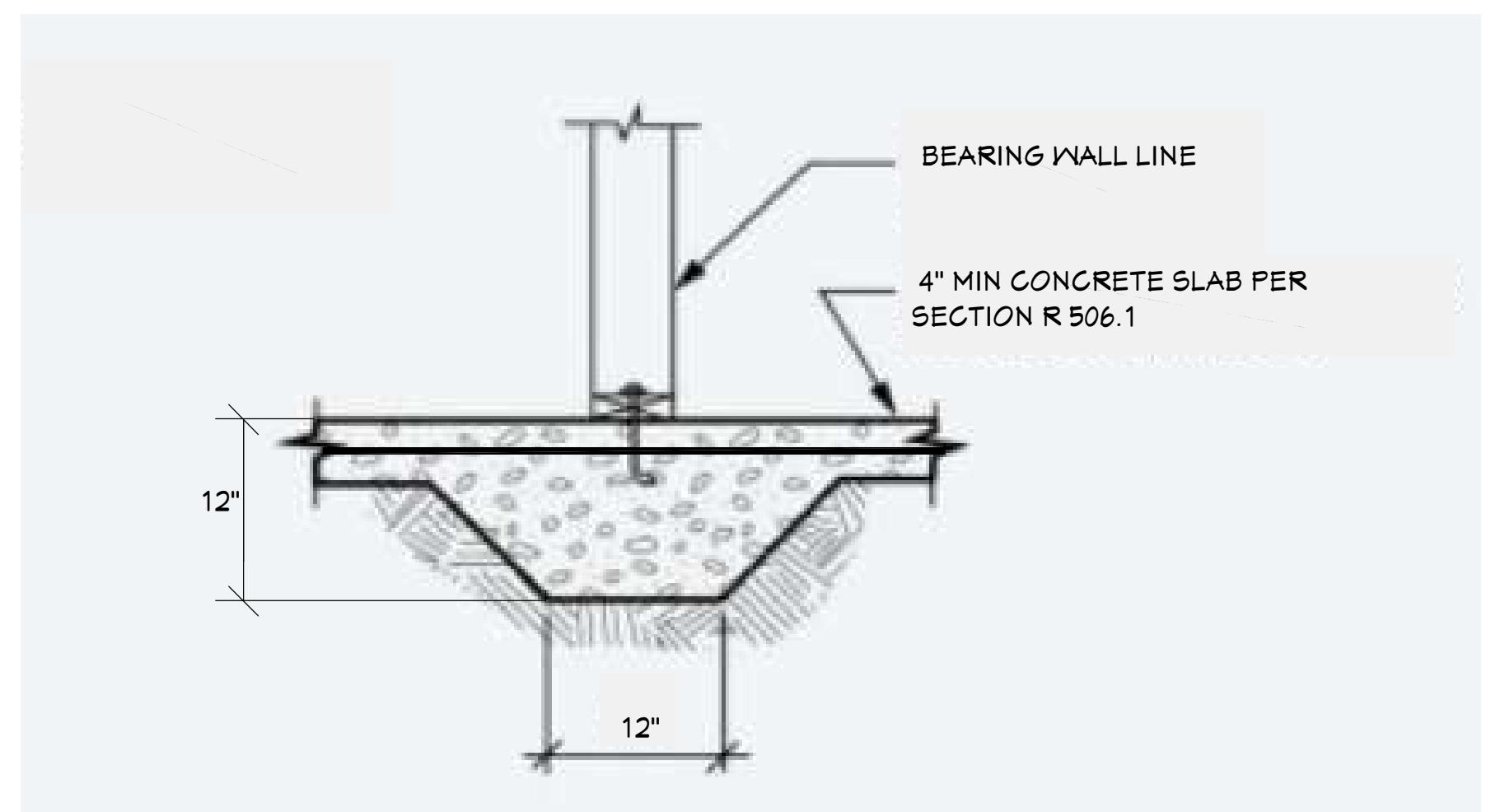


PROPOSED FOUNDATION PLAN

1/4"=1'-0"



D-01 FOUNDATION DETAIL (N.T.S.)



D-02 THICKENED SLAB-ON-GROUND FOOTING
AT BEARING WALLS OR BRACED WALL LINES

NOTES:

STANDARD GARAGE DOORS WITH PF-G FRAMING
MONOLITHIC SLAB WITH DOWNTURN EDGE WITH 6" CURB AT THE PERIMETER
HARDIE SIDING WITH OSB OR 3/8 CDX CONTINUOUS SHEATHING

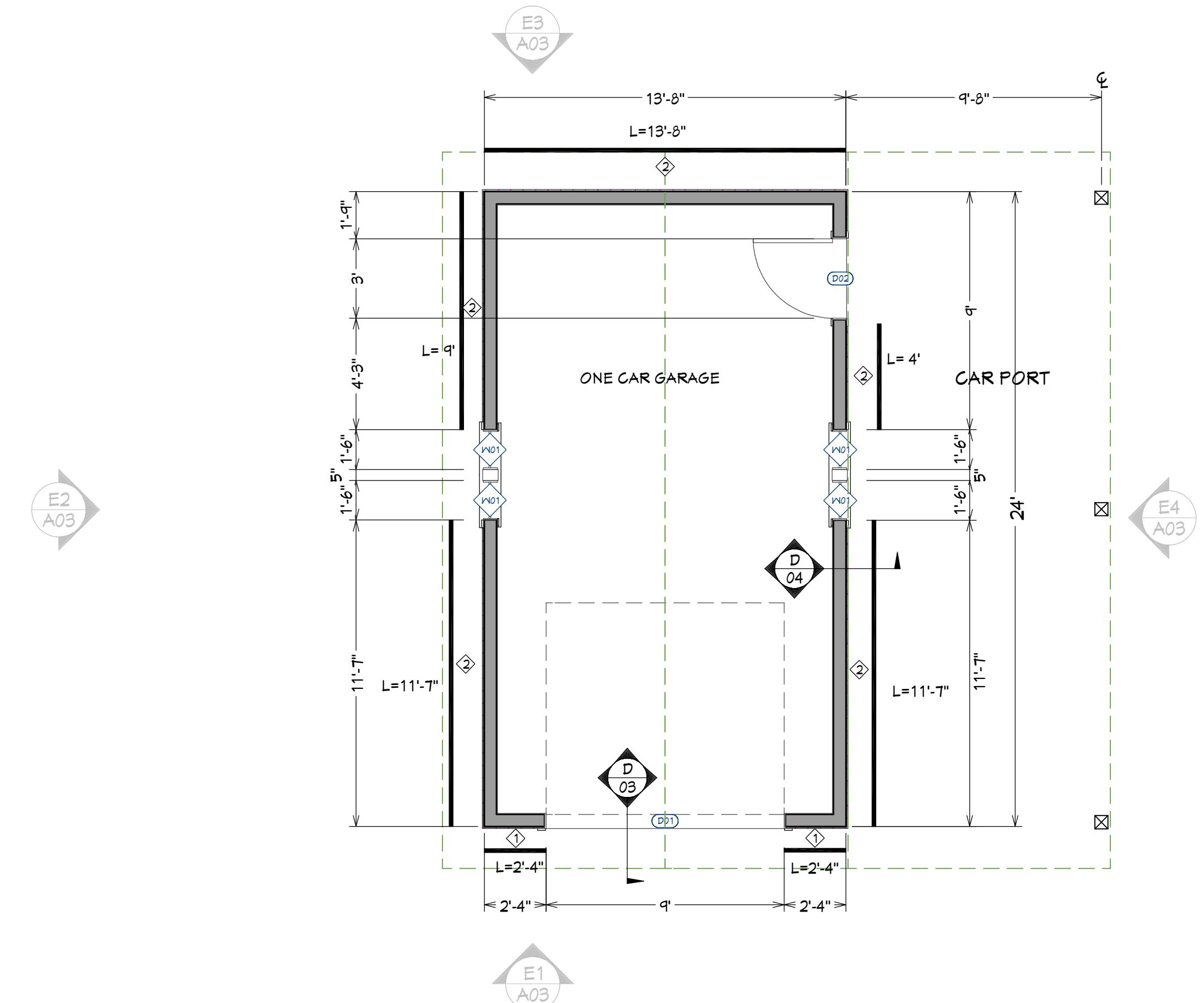
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FOUNDATION PLAN

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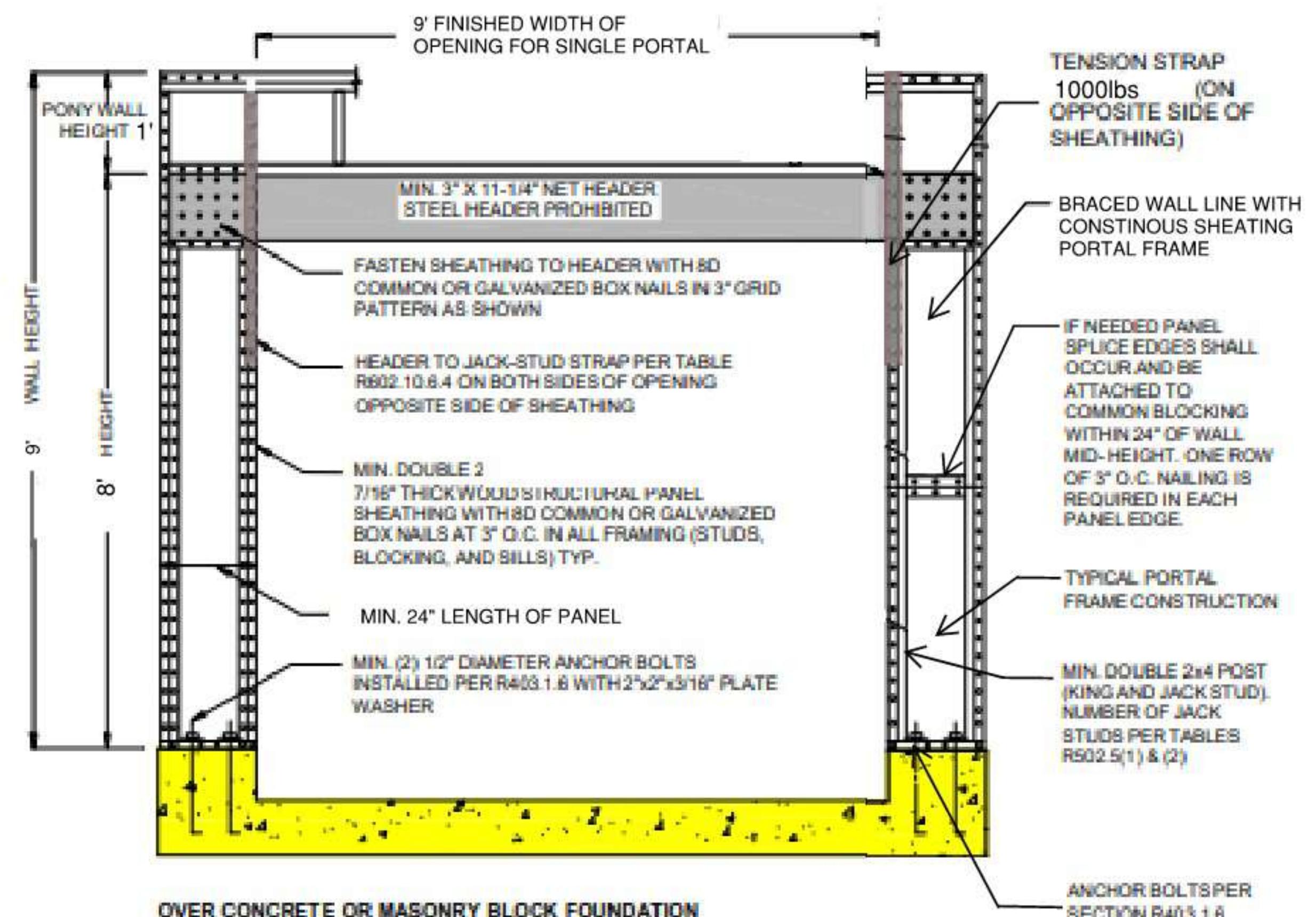
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SHEET:
A01



PROPOSED GARAGE PLAN

1/4"=1'-0"

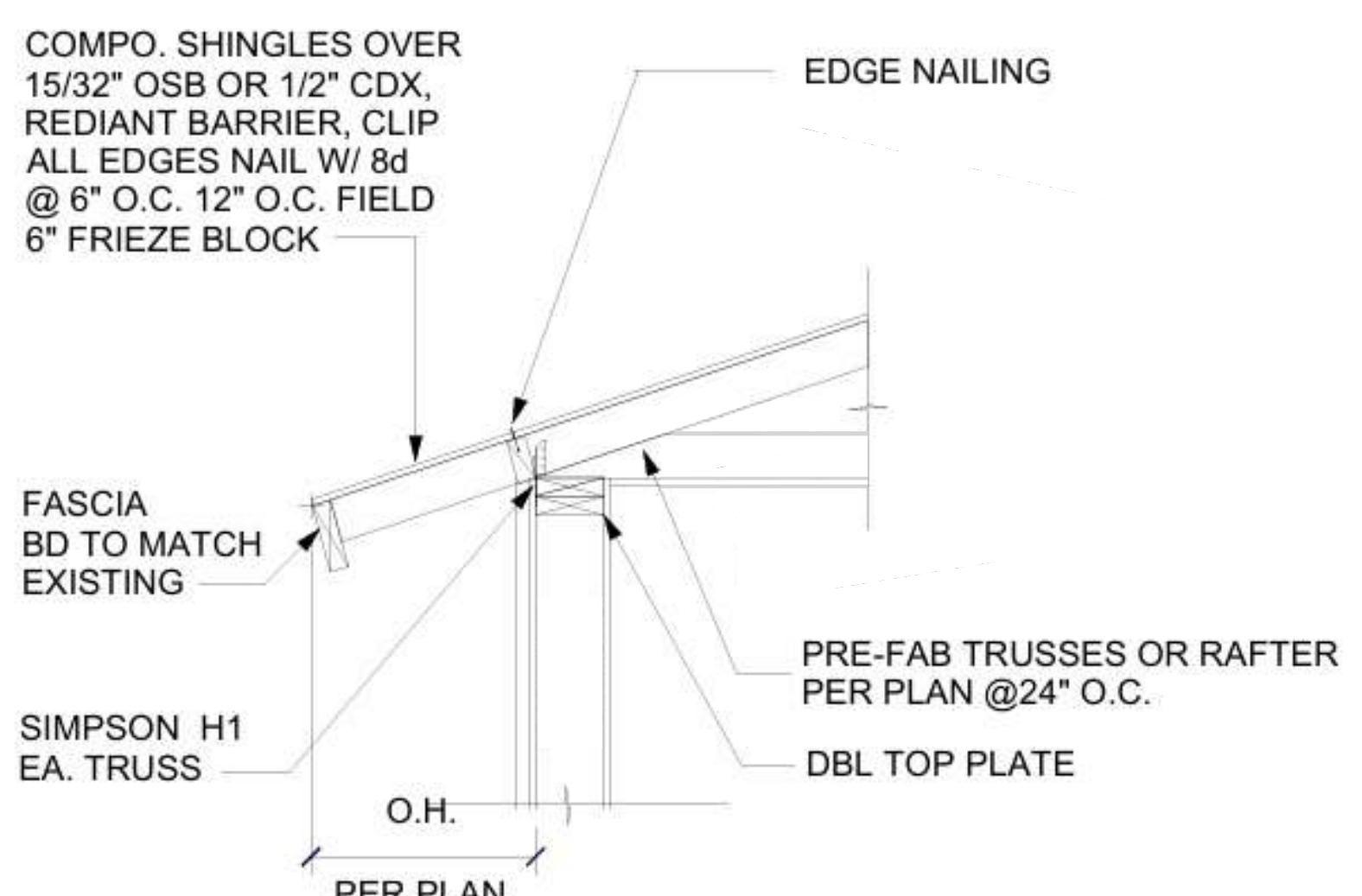


CS-G BRACING WALL DETAIL

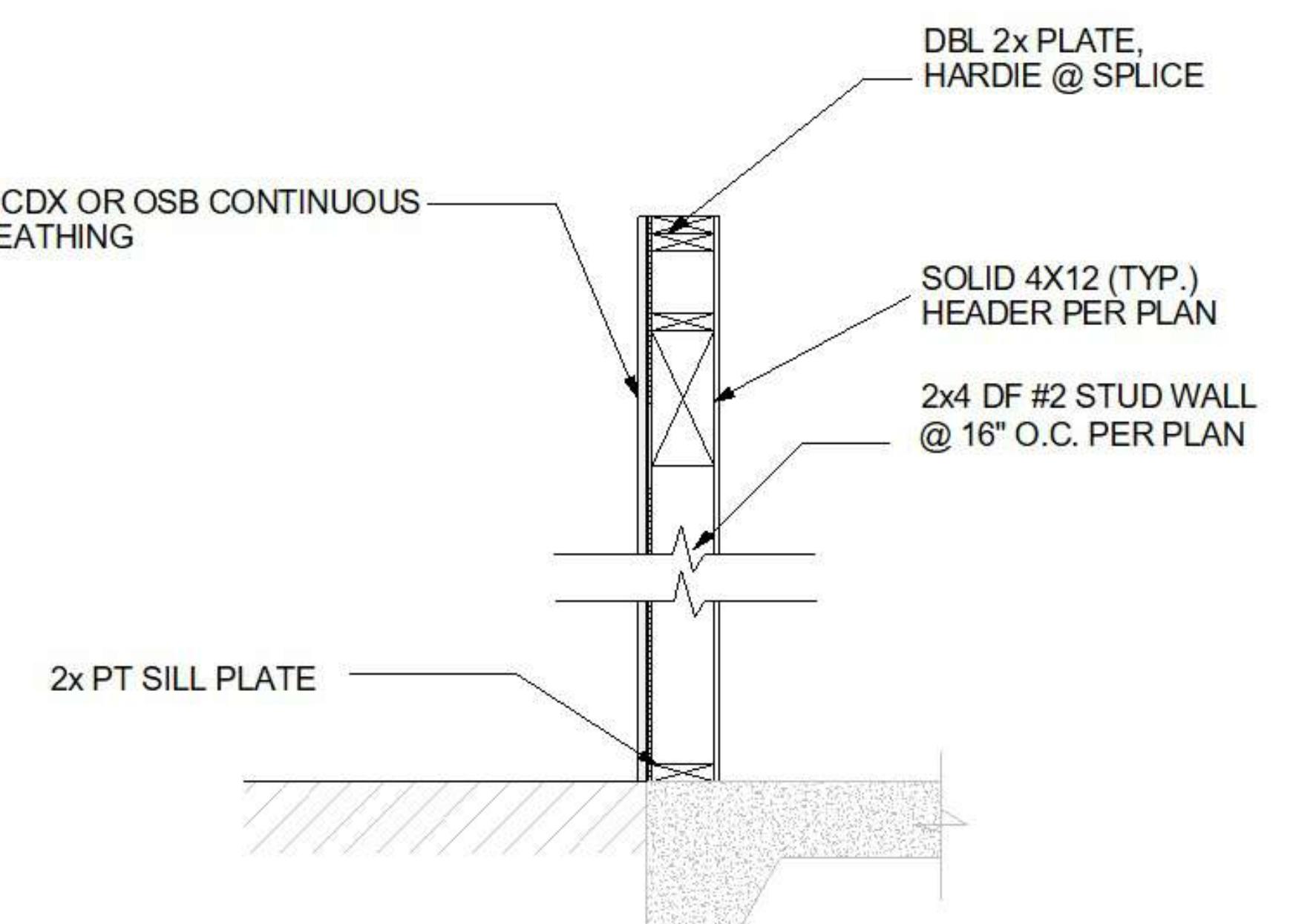
BRACED WALL		
①	PORTAL FRAME	CS-G
②	WOOD STRUCTURAL PANEL (WSP)	3/8" CDX OR OSB CONTINUOUS SHEATHING, NAILED WITH 8d COMMON NAILS SPACED AT 6" O.C. ALONG ALL EDGES AND BOUNDARIES OF SHEARWALL AND 12" O.C. ALONG INTERMEDIATE SUPPORTS (FIELD NAILS)

DOOR SCHEDULE				
NUMBER	QTY	FLOOR	SIZE	DESCRIPTION
D01	1	1	9080	GARAGE-GARAGE DOOR CHD05
D02	1	1	3068 R EX	EXT. HINGED-DOOR E21

WINDOW SCHEDULE				
NUMBER	QTY	FLOOR	SIZE	DESCRIPTION
W01	4	1	1640DH	DOUBLE HUNG



ROOF TO WALL CONNECTION DETAIL



TYPICAL WALL DETAIL

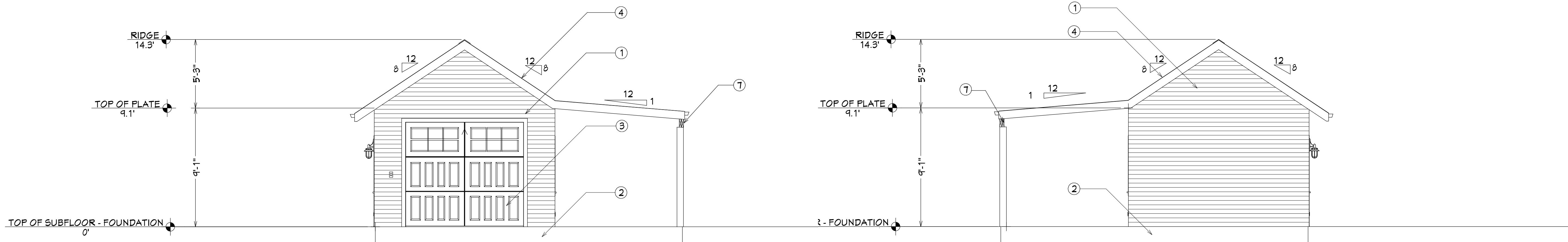
NUMBER	DATE	REVISION HISTORY	DESCRIPTION

FLOOR PLAN & DETAILS

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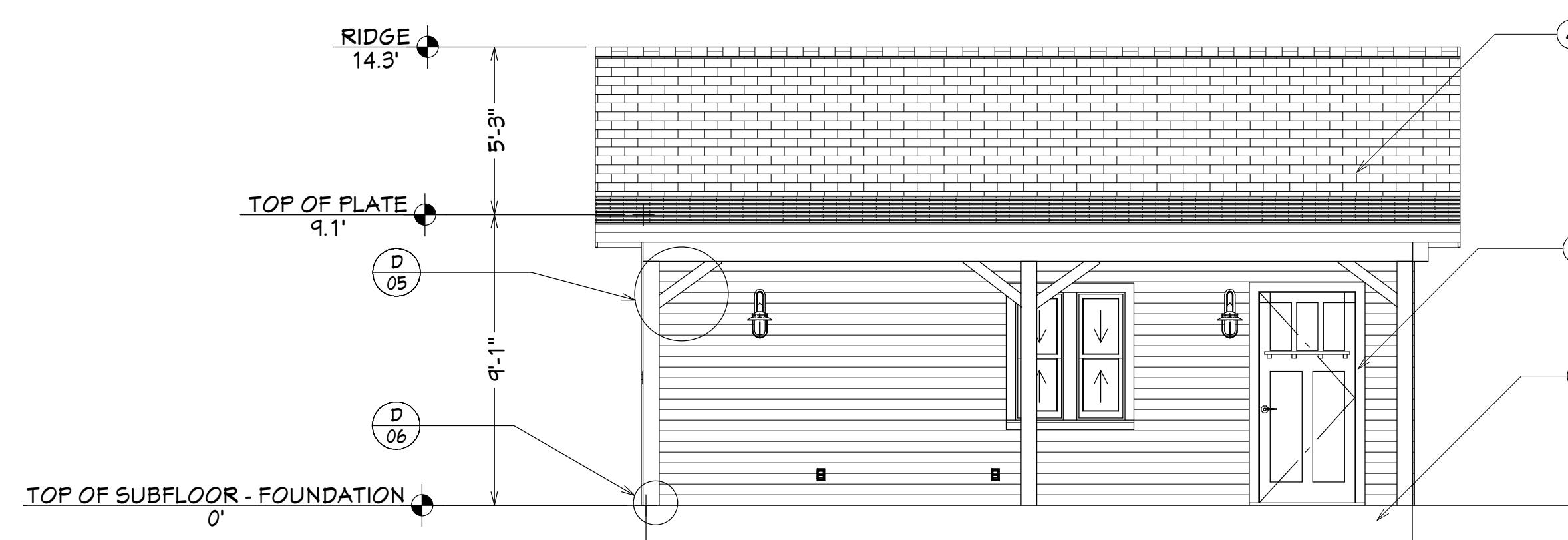
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A02



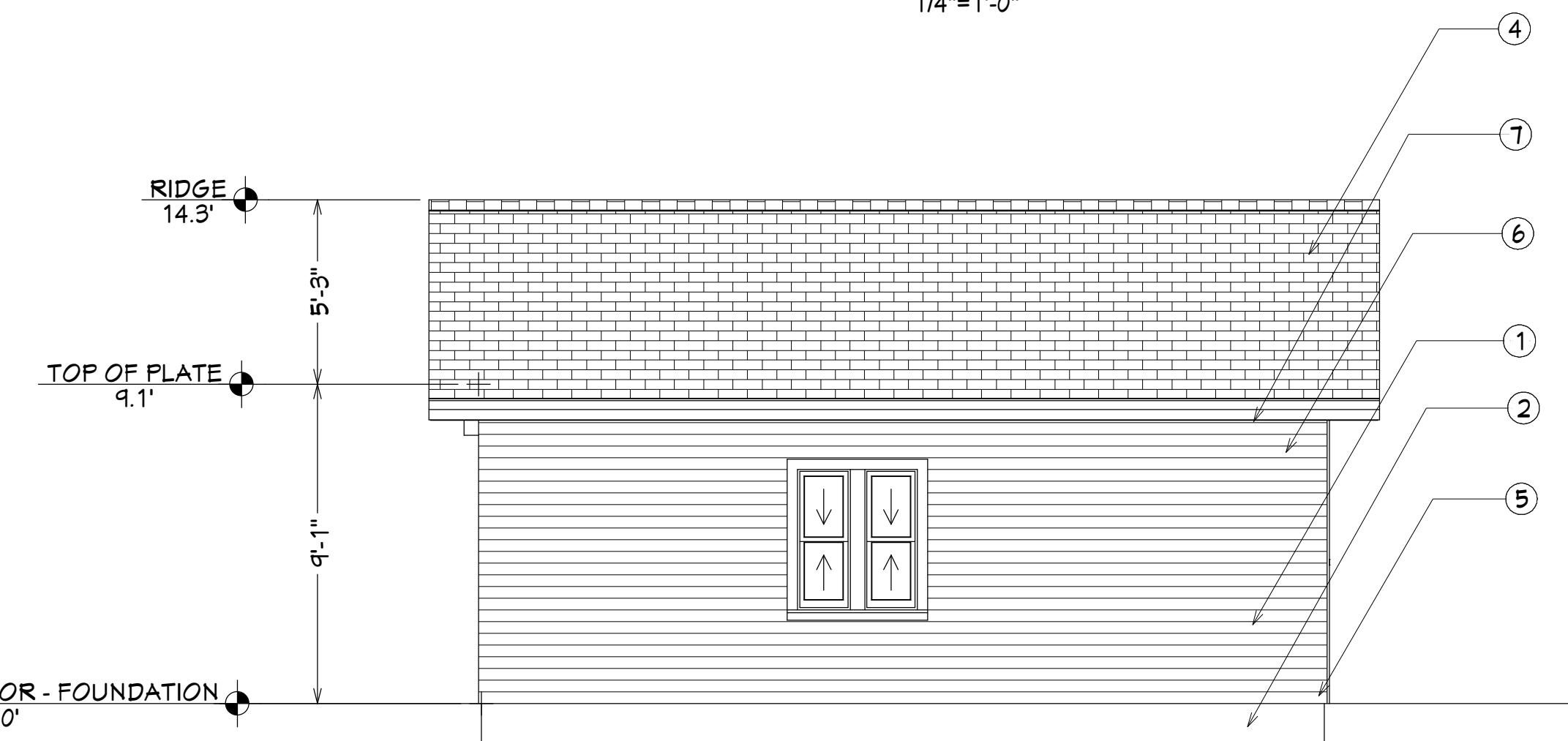
FRONT ELEVATION

1/4"=1'-0"



REAR ELEVATION

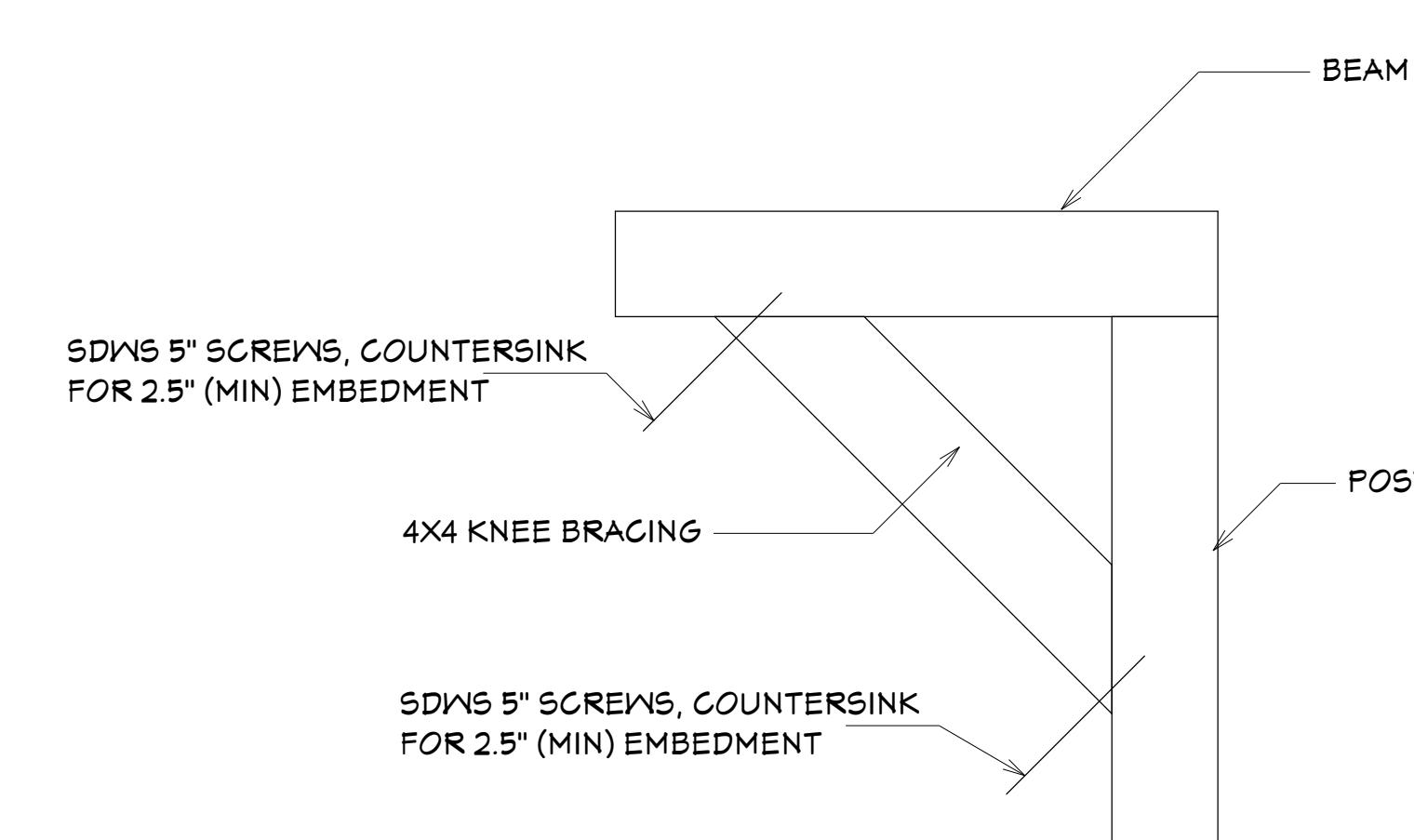
1/4"=1'-0"



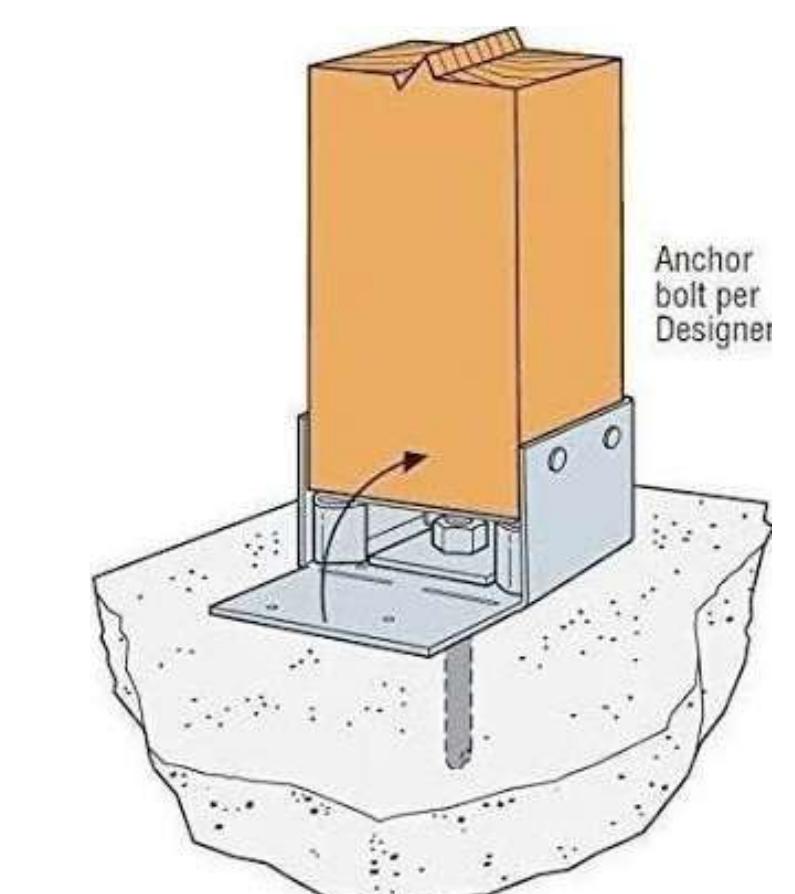
RIGHT ELEVATION

1/4"=1'-0"

- ① HARDIE SIDING WITH OSB OR 3/8 CDX CONTINUOUS SHEATHING
- ② MONOLITHIC SLAB WITH DOWNTURN EDGE
- ③ STANDARD GARAGE DOOR WITH PF-G FRAMING
- ④ SHINGLE ROOF
- ⑤ 6"X6" POST
- ⑥ 45° DIAGONAL BRACING
- ⑦ #2-2"X8" BEAM



D KNEE BRACING DETAIL
05



D POST TO CONCRETE CONNECTION
06 ABW66Z 6x6 1/2 ANCHOR DIA. (IN.) (12) 0.148 x 3 NAILS (IN.)

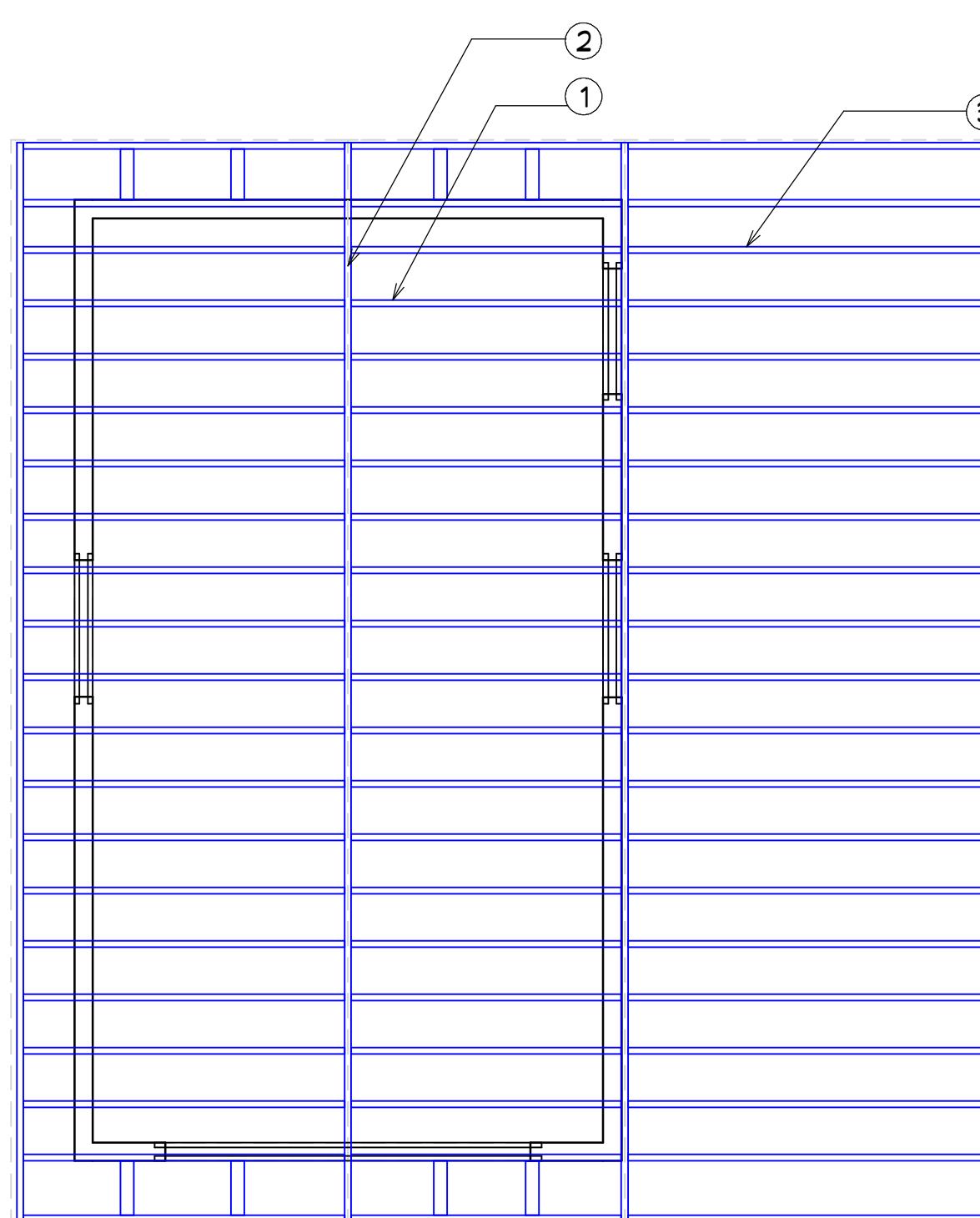
NUMBER	DATE	BY	DESCRIPTION	REVISION HISTORY

SHEET TITLE:
ELEVATION & CROSS-
SECTION

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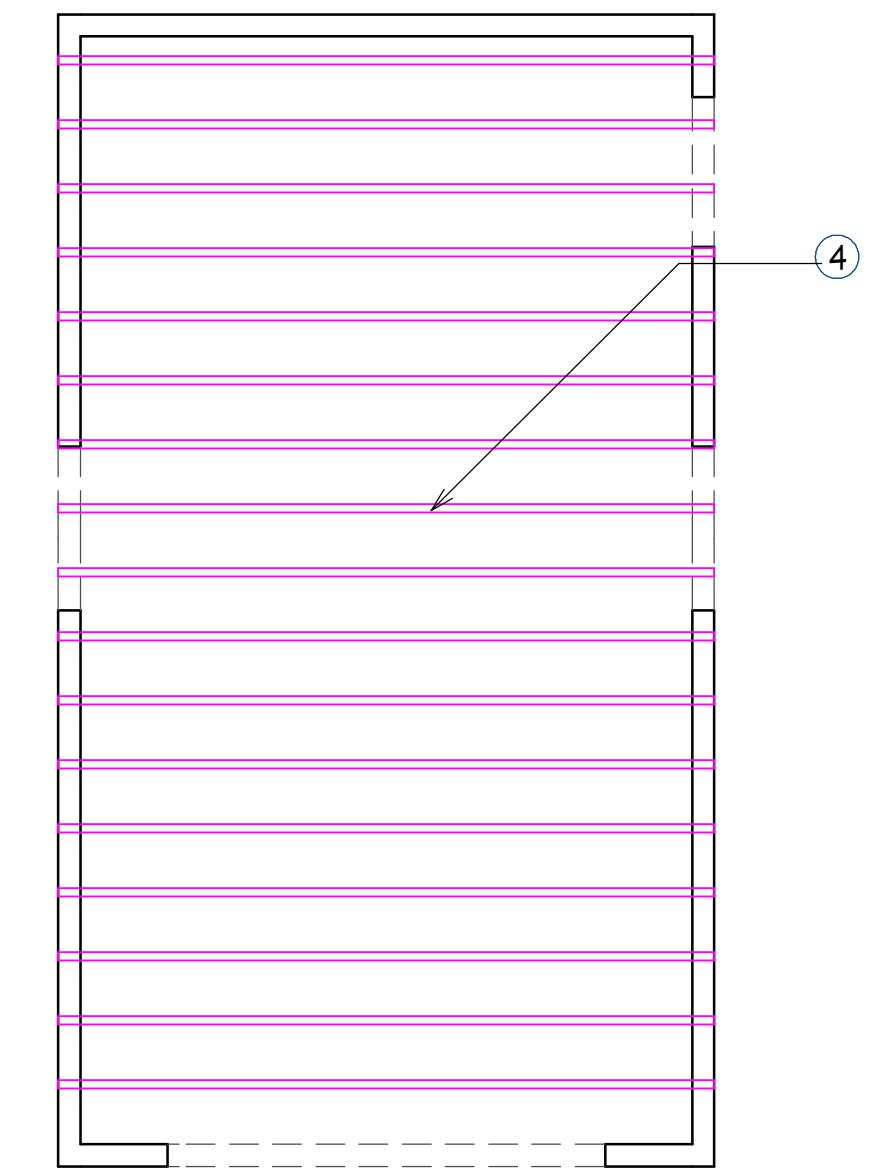
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A03



ROOF FRAMING

1/4"=1'-0"



CEILING FRAMING

1/4"=1'-0"

RAFTER SPACING (inches)	SPECIES AND GRADE	DEAD LOAD = 10 psf					DEAD LOAD = 20 psf				
		2 x 4	2 x 6	2 x 8	2 x 10	2 x 12	2 x 4	2 x 6	2 x 8	2 x 10	2 x 12
		Maximum rafter spans ^a									
16	Douglas fir-larch	SS	10-5	16-4	21-7	Note b	Note b	10-5	16-3	20-7	25-2
	Douglas fir-larch	#1	10-0	15-4	19-5	23-9	Note b	9-1	13-3	16-10	20-7
	Douglas fir-larch	#2	9-10	14-7	18-5	22-6	26-0	8-7	12-7	16-0	19-6
	Douglas fir-larch	#3	7-7	11-1	14-1	17-2	19-11	6-7	9-8	12-12	14-11
	Hem-fir	SS	9-10	15-6	20-5	Note b	Note b	9-10	15-6	19-11	24-4
	Hem-fir	#1	9-8	15-2	19-2	23-5	Note b	9-0	13-1	16-7	20-4
	Hem-fir	#2	9-2	14-2	17-11	21-11	25-5	8-5	12-3	15-6	18-11
	Hem-fir	#3	7-5	10-10	13-9	16-9	19-6	6-5	9-5	11-11	14-6
	Southern pine	SS	10-3	16-1	21-2	Note b	Note b	10-3	16-1	21-2	25-7
	Southern pine	#1	9-10	15-6	19-10	23-2	Note b	9-1	13-7	17-2	20-1
											23-10

- ① 2"x6" RAFTER D F 16" O.C.
- ② 2"x8" RIDGE BOARD
- ③ 2"x6" RAFTER D F 16" O.C.
- ④ 2"x6" CEILING JOIST D F 16" O.C.

RAFTER SIZE

CEILING JOIST SPACING (inches)	SPECIES AND GRADE	DEAD LOAD = 5 psf			
		2 x 4	2 x 6	2 x 8	2 x 10
		Maximum ceiling joist spans			
16	Douglas fir-larch	#1	11-6	18-1	23-10
	Douglas fir-larch	#2	11-3	17-8	23-4
	Douglas fir-larch	#3	9-7	14-1	17-10
	Hem-fir	SS	11-3	17-8	23-4
	Hem-fir	#1	11-0	17-4	22-10
	Hem-fir	#2	10-6	16-6	21-9
	Hem-fir	#3	9-5	13-9	17-5
	Southern pine	SS	11-9	18-5	24-3
	Southern pine	#1	11-3	17-8	23-10

CEILING JOIST SIZE

NUMBER	DATE	REVISION	HISTORY	DESCRIPTION

SHEET TITLE:
FRAMING

A PROJECT FOR:
CERLETTI & KENNEDY
CENTER GREGORY
664 CENTER ST, WALNUT CREEK,
CA 94597-1707, 655.0411 - F 707.561.6487

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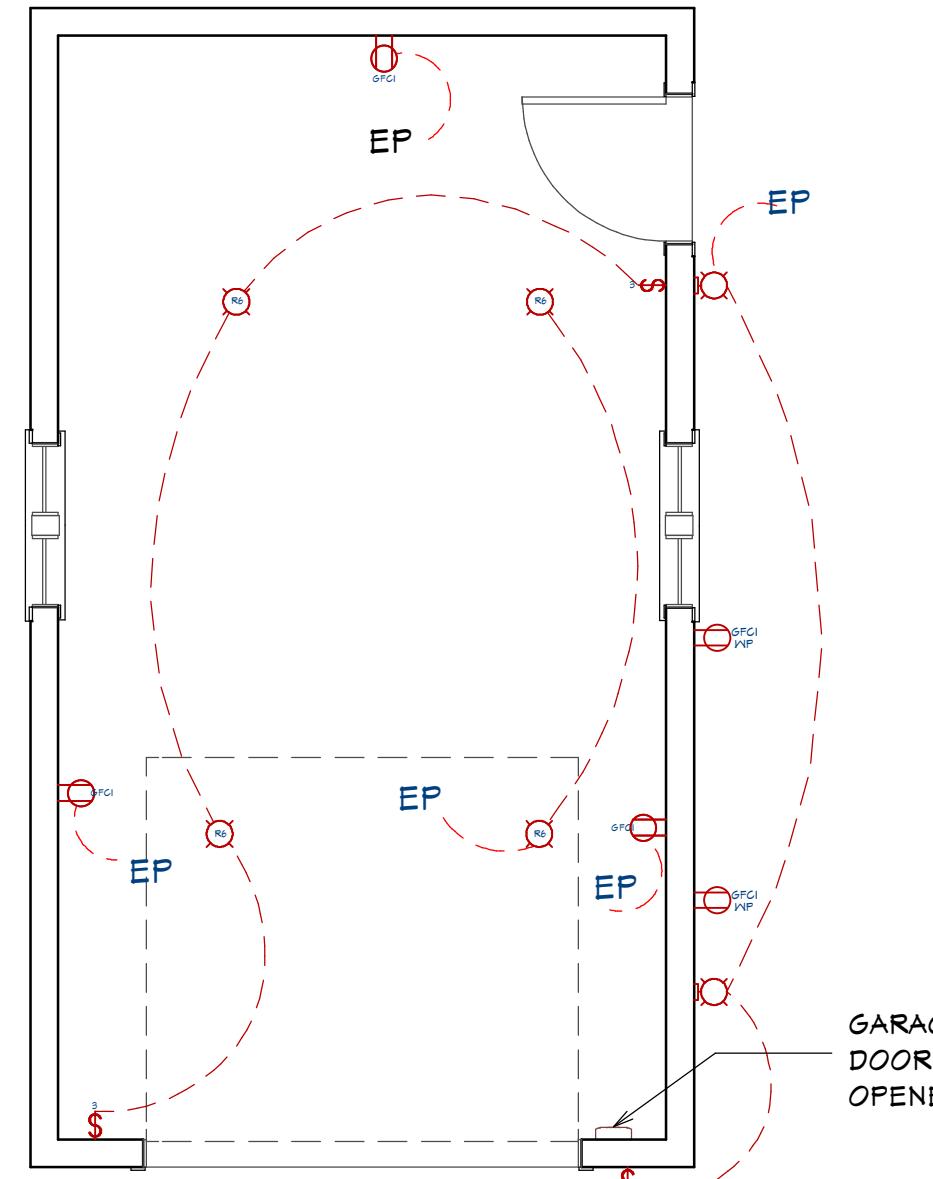
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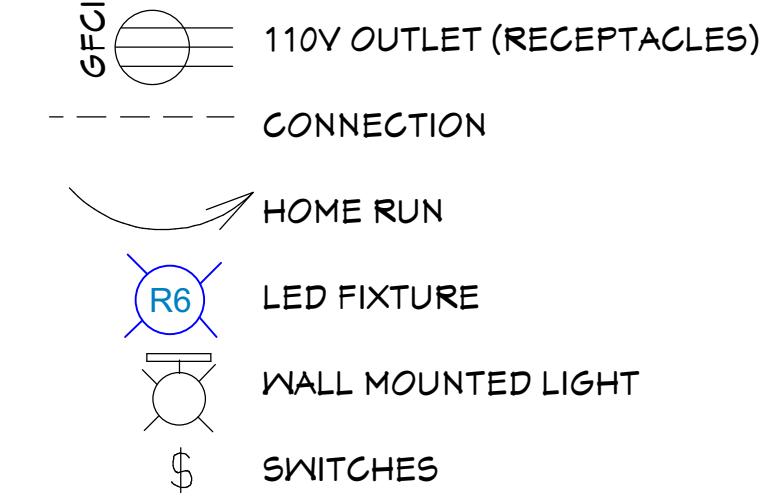
S01



ELECTRICAL PLAN

1/4"=1'-0"

ELECTRICAL LEGEND:



ELECTRICAL NOTES:

- 1 PROVIDE WEATHERPROOF OUTLET BOX AT GFCI PROTECTED RECEPTACLES AT EXTERIOR.
- 2 ALL 125-VOLT, 15- AND 20- AMPERE RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES PER CEC 406.12.
- 3 ALL PROPOSED LIGHTING TO BE HIGH EFFICACY IN ACCORDANCE WITH TABLE 150.0-A. PER CEC 150.0(k)(1)(A).
- 4 EXTERIOR-PROVIDE A HIGH EFFICACY LIGHTING WITH A MANUAL ON/OFF SWITCH AND WITH ONE OF THE FOLLOWING AUTOMATIC CONTROL TYPES IN FRONT AND BACK OF THE ADU (ANY OVERRIDE TO BELOW AUTOMATIC CONTROLS TO ON MUST RETURN TO AUTOMATIC CONTROL OPERATIONS WITHIN 6 HOURS):
 - PHOTOCONTROL AND EITHER A MOTION SENSOR OR AN AUTOMATIC TIME SWITCH CONTROL; OR
 - ASTRONOMICAL TIME CLOCK CONTROL
- 5 IN GARAGES AT LEAST ONE INSTALLED LUMINAIRE SHALL BE CONTROLLED BY AN OCCUPANCY OR VACANCY SENSOR PROVIDING AUTOMATIC-OFF FUNCTIONALITY. [GEC §150.0(K)2E].
- 6 GFCI RECEPTACLE OUTLET, ACCESSIBLE WHILE STANDING AT GRADE LEVEL AND LOCATED NOT MORE THAN 6½ FEET ABOVE GRADE, AT THE FRONT AND BACK OF THE DWELLING. [CEC ART. 210.52(E)(1)].
- 7 PROVIDE A LIGHT ON THE EXTERIOR SIDE OF OUTDOOR ENTRANCES AND EXITS CONTROLLED BY AN INTERIOR WALL SWITCH. [CEC ART. 210.70(A)(2)(2)].
- 8 ELECTRICAL RECEPTACLE OUTLETS, SWITCHES, AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION, AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS SHALL BE LOCATED NO MORE THAN 48 INCHES MEASURED TO THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR. (DEDICATED RECEPTACLE OUTLETS, FLOOR RECEPTACLE OUTLETS, CONTROLS MOUNTED ON CEILING FANS AND LIGHTS, AND CONTROLS LOCATED ON APPLIANCES ARE NOT REQUIRED TO COMPLY WITH THIS REQUIREMENT.) [CRC §R321.1.2]

SHEET TITLE:

ELECTRICAL PLAN & NOTES

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